



January 17, 2020

TO: CADA Board of Directors

SUBJECT: January 24, 2020 Board Meeting
AGENDA ITEM 5
CADA PARKWAY STRIPS PROJECT – 16TH STREET FRONTAGE (1520-1530
16TH STREET)

CONTACT: Marc de la Vergne, Deputy Executive Director

RECOMMENDATION:

Staff recommends that the Board adopt the attached resolution which authorizes the Executive Director to enter into a construction contract with Elite Service Experts to re-landscape the parkway strips on the 16th Street frontage from Opera Alley to P Street.

BACKGROUND

In 2016, CADA retained Wood Rodgers to provide landscape architectural services to CADA for the parkway strips on 14th Street between P Street and the alley (CADA administrative offices), on 16th Street adjacent to 1530 16th Street (Karma Brew and Legado de Ravel leasing office frontages), and N and 16th streets fronting the Brannan Court apartment building. Wood Rodgers created construction documents to reconstruct these parkway strips to include drought tolerant planting, subsurface irrigation, and a permeable paving treatment.

The CADA administrative offices project was a simpler project than the Karma Brew/Legado Leasing Office frontage, so staff prioritized it for bidding while continuing with design work for 16th Street and Brannan Court. In 2017, CADA retained Procida Landscape to construct the redesign at the CADA administrative office. Since then, the design has performed well, requires less maintenance and water than the old design, and is attractive throughout the year. The paving stones are durable and allow motorists to exit their vehicles and cross through the parkway strips without damaging the plantings and the irrigation system.

Having completed the CADA office project and having secured final City approval of the 16th Street and the Brannan Court designs, staff issued a bid package for 16th Street in November 2019. On December 4, 2019, CADA staff and Wood Rodgers led a mandatory job walk for prospective bidders. The purpose of the job walk was to present the project and answer questions. Elite Service Experts, Pro Builders, and Lister Construction attended the job walk and Elite and Pro Builders submitted bids. Bids were due and were opened on December 11.

Staff returned to Procida to re-price the Brannan Court design, but the cost was excessive¹.

ANALYSIS

Design

Between Opera Alley and P Street, the parkway strips fronting CADA's buildings separate the sidewalk from the street and are currently landscaped with decomposed granite in which a variety of drip-watered plants have been planted, with mixed results. On the frontage approaching P Street, the grade of the planted area is quite steep making it slippery for people wishing to cross from the sidewalk to automobiles and vice-versa. The steepness of the grade also leads to decomposed granite migrating downslope into the gutters as well as rainwater runoff washing through the decomposed granite through the several channels the runoff has carved. Finally, decomposed granite as it compacts is harmful to trees and the compaction will only worsen as time passes. These conditions need to be corrected.

As is the case for the CADA Administrative Office location, the design for the 16th Street parkway strips includes planter beds surrounding the existing trees that will be planted with drought-tolerant plantings set in soil protected by bark compost and irrigated by shallow below-grade drip lines. The landscaped planter beds will alternate with paving stone walkways to allow some pedestrian travel from the sidewalks to the curbs while allowing good water penetration into the soil. Along 16th Street, parallel to the curb, a concrete retaining wall will be installed to allow construction of a 24" wide paved walking surface that will give motorists a way to more safely exit their vehicles and proceed to the paved walkways leading to the sidewalk. In this regard, the design mimics the planter strip design directly across the street along the Fremont apartment building frontage where a grade issue required this same solution. As with the administrative office project, the design for 16th Street will be durable, low-maintenance, water-conserving, attractive, and safer. The design for the 16th Street frontage is included with this staff report as **Attachment 1**.

At the Administrative Office location, the design also included bike racks. None are present on this portion of 16th Street currently, so this feature will add a needed amenity to this part of 16th Street. CADA will need to apply for a revocable encroachment permit to allow for installation of the bike racks. The available space will accommodate two bikes, meeting the needs of Karma Brew patrons.

Lowest Bid

Bids were due, and CADA staff opened them, on December 11. CADA received two bids - from Elite Service Pros and Pro Builders. Pro Builders' bid was \$88,880 and Elite Service Experts' bid was \$79,033. Elite's bid was declared the lowest responsible, responsive bid. Because the work exceeds \$15,000, the work is a prevailing wage project, and the bids reflect this requirement. The Bid Tabulation form showing Elite's and Pro Builders' bid amounts is included as **Attachment 2**.

As noted above, the City has reviewed and approved the construction plans. Construction will proceed as soon as possible after the contractor receives the encroachment permit for parking during construction. CADA staff will apply for the revocable permit allowing the bike racks to be installed within the City's right of way and a tree permit authorizing work in the trees' root zones.

POLICY ISSUES

¹ Procida's 2017 bid provided a cost both for the administrative office and the Brannan Court work. The Brannan work was excluded from the contract scope of work when the cost for the two projects exceeded the available budget.

CADA's construction contracts policy requires staff to conduct a formal bidding process to select a contractor for jobs whose value exceeds \$50,000 and requires that the Board approve such contracts. For this reason, staff is seeking Board approval of the proposed construction contract with Elite.

STRATEGIC PLAN

The proposed improvements address the 2016-21 Strategic Plan goal to promote community stewardship and to build neighborhood amenities. The work also implements aesthetic, safety, and water-conserving improvements to the public right-of-way as suggested in the CADA 16th Street Streetscape Plan, in a segment of 16th Street that has not previously received adequate attention.

FINANCIAL IMPACTS

CADA has budgeted sufficient funds to cover Elite's \$79,033 bid for the project. CADA also has \$6,127 in remaining plan check fees on deposit with the City. Some of those funds will be used to cover the City's costs to inspect the work as it proceeds and some will be used to pay the required tree (root) trimming permit fee and the bike rack revocable encroachment permit fee.

ENVIRONMENTAL REVIEW

No environmental review of this project is required.

Attachments:

1. CADA Office Parkway Strip Design
2. Bid Tabulation Form

1. ALL CONSTRUCTION MATERIALS AND WORKSMANSHIP SHALL CONFORM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED JUNE 1989. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
2. THE CONTRACTOR SHALL BE IN RECEIPT OF CITY ACCEPTED PLANS PRIOR TO BEGINNING CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY. ACCEPTANCE OF PLANS BY THE CITY OF SACRAMENTO IS BASED ON THE ASSUMPTION THAT THE INFORMATION CONTAINED ON THE PLANS AND SUPPORTING DOCUMENTS IS CORRECT, AND DOES NOT SUBROGATE THE DESIGN ENGINEERS RESPONSIBILITY FOR THIS PROJECT. ANY AND ALL ERRORS AND OMISSIONS ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER.
3. CONTACT THE CITY OF SACRAMENTO CONSTRUCTION SECTION AT 808-8300 TWO (2) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
5. RESPONSIBILITY FOR FINAL ACCEPTANCE OF LINE AND GRADE BY THE CITY OF SACRAMENTO WILL BE ASSUMED ONLY IF CONSTRUCTION STAKES ARE SET BY THE CITY SURVEY CREWS OR THEIR DESIGNATED REPRESENTATIVE. CITY WILL SET CONSTRUCTION STAKES ONLY IF SO INDICATED ON THE "NOTICE TO PROCEED" WITH CONSTRUCTION ISSUED FOR THIS PROJECT. CONTACT CITY OF SACRAMENTO CONSTRUCTION SECTION TWO (2) WORKING DAYS IN ADVANCE FOR CONSTRUCTION STAKES WITHIN PUBLIC RIGHT-OF-WAY.
6. FOR ALL TRENCH EXCAVATIONS 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL OBTAIN A PERMIT FROM THE DIVISION OF INDUSTRIAL SAFETY (2424 ARDEN WAY, SUITE 165, SACRAMENTO, CA, PHONE 916-263-2800) PRIOR TO BEGINNING ANY EXCAVATION. A COPY OF THIS PERMIT SHALL BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND FURNISH, INSTALL, AND MAINTAIN TEMPORARY SIGNS, BRIDGES, BARRICADES, FLAGMEN, AND OTHER FACILITIES TO ADEQUATELY SAFEGUARD THE GENERAL PUBLIC WORK AND, TO PROVIDE FOR THE PROPER ROUTING OF VEHICULAR AND PEDESTRIAN TRAFFIC. CONSTRUCTION OPERATIONS SHALL COMPLY WITH THE WORK AREA AND TRAFFIC CONTROL HANDBOOK (WATCH). THE CONTRACTOR SHALL PROVIDE TO THE CITY TRAFFIC ENGINEER FOR REVIEW, A PLAN SHOWING TRAFFIC CONTROL MEASURES AND/OR DETOURS FOR VEHICLES AFFECTED BY THE CONSTRUCTION WORK. THE APPROVED PLAN SHALL BE DELIVERED TO THE CONSTRUCTION INSPECTOR PRIOR TO THE IMPLEMENTATION OF TRAFFIC CONTROL MEASURES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING RECORD DRAWINGS FOR ALL WORK THROUGHOUT THE COURSE OF CONSTRUCTION. SUCH DRAWINGS SHALL RECORD THE LOCATION AND GRADE (CITY DATUM) OF ALL UNDERGROUND IMPROVEMENTS CONSTRUCTED AND SHALL BE DELIVERED TO THE CONSTRUCTION INSPECTOR PRIOR TO, AND IN CONSIDERATION OF, THE CITY'S ACCEPTANCE OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
11. IF UNUSUAL AMOUNTS OF BONE, STONE OR ARTIFACTS ARE UNCOVERED, WORK WITHIN 50 METERS OF THE AREA SHALL CEASE IMMEDIATELY AND A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED TO DEVELOP, IF NECESSARY, MITIGATION MEASURES TO REDUCE ANY ARCHAEOLOGICAL IMPACT TO A LESS THAN SIGNIFICANT EFFECT BEFORE CONSTRUCTION RESUMES IN THE AREA.
12. COST TO REMOVE AND REPLACE EXISTING PAVEMENT OVER UTILITY LINE TRENCHES SHALL BE INCLUDED IN THE BID PRICE. TRENCHES SHALL BE BACKFILLED AND PAVEMENT SHALL BE REPLACED PER CITY DETAIL C212. PAVEMENT SHALL BE REPLACED IN KIND (MINIMUM OF 4" AC ON 12" AB) AS DETERMINED IN THE FIELD BY THE CITY INSPECTOR. ALL STRIPING AND PAVEMENT MARKINGS SHALL BE RESTORED (IN THERMOPLASTIC).
13. PAVEMENT REPAIR NECESSARY DUE TO SUBSIDENCE RESULTING FROM TRENCH FAILURE OR OTHER DEFECTS IN WORKSMANSHIP SHALL CONSIST OF KEY CUTTING AND OVERLAYING BETWEEN THE TWO NEAREST INTERSECTIONS, AS DETERMINED BY THE CITY INSPECTOR.
14. SIDEWALK RAMPS SHALL BE CONSTRUCTED AT THE CENTER OF ALL ROUND CORNERS UNLESS OTHERWISE SHOWN. RAMPS SHALL COMPLY WITH THE MOST RECENT CITY STANDARD RAMP DETAILS. CONTRACTOR SHALL OBTAIN THESE DETAILS FROM THE CITY INSPECTOR PRIOR TO ANY RAMP CONSTRUCTION.
15. PIPE AND MANHOLE DIMENSIONS ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED.
16. ALL TAPS FIFTEEN (15) INCHES AND SMALLER INTO SEWER AND DRAIN MANHOLES SHALL BE CORE BORED WITH KOR-14 SEAL TAPS OR APPROVED EQUAL.
17. ANY WATER ENTERING THE SANITARY SEWER SYSTEM TO BE CONSTRUCTED UNDER THESE PLANS SHALL NOT BE DISCHARGED TO THE EXISTING SYSTEM. PLUGS MUST BE INSTALLED IN EXISTING MANHOLES AS NECESSARY TO PERMIT PUMPING THE NEW SYSTEM CLEAR OF WATER AND DEBRIS PRIOR TO ACCEPTANCE. CARE SHALL BE EXERCISED IN LOCATING PLUGS TO AVOID INTERRUPTING SERVICES TO EXISTING CONNECTIONS. MORTAR OR BRICK PLUGS MUST BE USED, INFLATABLE DEVICES ARE NOT SATISFACTORY.
18. DRAIN PIPE MATERIAL SHALL BE REINFORCED CONCRETE PIPE C-76 CL III, NONREINFORCED CONCRETE PIPE C-14 CL II, PVC SDR 35, OR AS SPECIFIED ON PLANS. IN ALL CASES, JOINTS FOR CONCRETE PIPE SHALL BE RUBBER GASKETED JOINTS.
19. DRAIN INLET LEADS SHALL BE PVC C-900 CL 150, RCP C-76 CL III, OR NONREINFORCED CONCRETE C-14 CL III.
20. SANITARY SEWER PIPE MAINS SHALL BE CONSTRUCTED OF VCP, ABS OR PVC

21. ALL SEWER SERVICES SHALL BE 4" DIAMETER UNLESS OTHERWISE NOTED.
22. AGGREGATE SUBBASE SHALL CONFORM TO CALTRANS SPECIFICATIONS DATED: JULY 1992 ASB, SECTION 25.
23. THE CONTRACTOR SHALL VIDEO RECORD ALL SEWER MAINS FROM SIX (6) INCH TO AND INCLUDING THIRTY-SIX (36) INCH DIAMETER ACCORDING TO THE CITY OF SACRAMENTO VIDEO TAPE INSPECTION OF SEWER AND DRAINAGE PIPELINES? DRAINAGE PIPES SHALL BE VIDEO TAPED IF DIRECTED BY THE CITY ENGINEER. COPIES OF THIS SPECIFICATION MAY BE OBTAINED AT THE OFFICES OF THE CITY OF SACRAMENTO, ENGINEERING SERVICES SECTION, 1231 I STREET, ROOM 200.
24. THE CONTRACTOR SHALL BALL AND FLUSH ALL SEWER SYSTEMS (AND DRAIN SYSTEMS, IF REQUIRED), PRIOR TO VIDEO RECORDING. THESE SYSTEMS SHALL ALSO BE BALLED AND FLUSHED, AND FREE OF DEBRIS PRIOR TO ACCEPTANCE OF WORK.
25. A STORM WATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE OF ONE (1) OR MORE ACRES. THE STATE WATER RESOURCES CONTROL BOARD, DIVISION OF WATER QUALITY, STORM WATER PERMIT UNIT, P.O. BOX 1977, SACRAMENTO, CA 95812-1977, SHALL BE CONTACTED TO OBTAIN THE PERMIT PRIOR TO BEGINNING CONSTRUCTION.
26. IF WORK SHOWN ON THESE PLANS HAS NOT COMMENCED WITHIN TWO YEARS FROM THE DATE OF THE CITY'S ACCEPTANCE OF THE PLANS, A SUBSEQUENT PLAN REVIEW AT THE CITY'S DISCRETION AND THE DEVELOPER'S EXPENSE MAY BE NECESSARY.
27. CONTRACTOR SHALL COMPLY WITH THE CITY OF SACRAMENTO ADMINISTRATIVE AND TECHNICAL PROCEDURES MANUAL FOR GRADING/EROSION AND SEDIMENT CONTROL.
28. CONSTRUCT SURVEY MONUMENT WELL PER STD. DWG. CE6 AT LOCATIONS INDICATED ON THE FINAL MAP.
29. CONCRETE RESTORATION: COLOR OF NEW CONCRETE SHALL MATCH ADJACENT EXISTING CONCRETE BY ADDING LAMP BLACK.
30. ALL DRAINAGE MAINS AND SERVICES WHICH ARE STUBBED OUT FOR FUTURE USE SHALL BE PLUGGED OR CAPPED AS FOLLOWS:
 - A. RCP 12" AND SMALLER SHALL BE CAPPED OR PLUGGED WITH A FACTORY CAP/PLUG;
 - B. RCP 15" AND LARGER SHALL BE PLUGGED WITH BRICK AND MORTAR;
 - C. PVC PIPE SHALL BE CAPPED OR PLUGGED WITH A FACTORY CAP/PLUG.
31. IF ANY WELL OR SEPTIC SYSTEM IS LOCATED WITHIN THE SUBDIVISION BOUNDARIES, PERMITS SHALL BE OBTAINED FROM THE COUNTY ENVIRONMENTAL HEALTH DIVISION TO ABANDON SUCH WELLS OR SEPTIC SYSTEMS PRIOR TO ANY CONSTRUCTION.
32. THE EXACT WIDTH OF EXISTING PAVEMENT TO BE SALVAGED SHALL BE DETERMINED IN THE FIELD BY THE CONSTRUCTION SECTION.
33. EXISTING ASPHALT PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE. THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
34. EXACT LIMITS OF CURB AND GUTTER, SIDEWALK, DRIVEWAY, AND PAVEMENT REMOVAL, AND RECONSTRUCTION SHALL BE DETERMINED IN THE FIELD BY THE CONSTRUCTION SECTION.
35. COMPACTION OF TRENCH BACK FILL BY MEANS OF JETTING IS NOT PERMITTED WITHIN THE CITY OF SACRAMENTO UNLESS SPECIFICALLY APPROVED IN WRITING BY THE CITY ENGINEER.
36. GUTTER SLOPES FROM FLOWLINE TO LIP SHALL BE FIVE (5) PERCENT BETWEEN ROUND CORNER CURB RETURNS. THE FIVE (5) PERCENT SLOPED SHALL BE TRANSITIONED TO THE STANDARD GUTTER SLOPE OVER A DISTANCE OF THREE (3) TO FIVE (5) FEET, AS DIRECTED IN THE FIELD BY THE RESIDENT ENGINEER. THE GUTTER SLOPE ADJACENT TO HANDICAP RAMPS SHALL IN NO CASE BE GREATER THAN FIVE (5) PERCENT.
37. TOP (FINAL) LIFT OF AC SHALL BE 1/2" MIX.
38. CONTROLLED DENSITY FILL (CDF) SHALL BE USED IN LIEU OF CONCRETE ENCASEMENT AS SPECIFIED IN THESE PLANS AND SHALL CONFORM TO STANDARD DRAWING CE70. MAXIMUM 28 DAY COMPRESSIVE STRENGTH SHALL BE 150 PSI. SUBMIT LOAD TICKETS AND TEST RESULTS TO CITY.
39. PAVEMENT REPAIR NECESSARY DUE TO SUBSIDENCE RESULTING FROM TRENCH FAILURE OR OTHER DEFECTS IN WORKMANSHIP SHALL CONSIST OF KEY CUTTING AND OVERLAYING BETWEEN THE TWO NEAREST INTERSECTIONS, AS DETERMINED BY THE CITY INSPECTOR.
40. IF STORM DRAIN PIPE SIZES SHOWN ON THESE PLANS ARE NOT AVAILABLE, THE NEXT LARGER PIPE DIAMETER SHALL BE INSTALLED. A PLAN REVISION APPROVED BY THE DEPARTMENT OF UTILITIES WILL BE REQUIRED.
41. ALL DRAINAGE PIPES SHALL BE INSPECTED BY THE CITY'S FIELD SERVICES DIVISION UTILIZING A CLOSED CIRCUIT IN-LINE TELEVISION (CCTV) CAMERA. REQUEST FOR CCTV INSPECTION SHALL BE SUBMITTED TO THE ENGINEER NO LESS THAN THREE WORKING DAYS PRIOR TO THE NEED FOR THE INSPECTION. PIPE SHALL BE THOROUGHLY CLEARED OF ALL DEBRIS USING SEWER BALL OR OTHER APPROVED METHOD WITHIN 48 HOURS OF REQUESTED CCTV INSPECTION. CCTV INSPECTIONS SHALL BE MADE PRIOR TO FINAL PAVING AND AFTER MANHOLE CHANNELS HAVE BEEN COMPLETED. COST OF CCTV INSPECTION WILL BE BORNE BY CITY.
- 42.

NO.	DESCRIPTION	DATE	BY
01	CYCLE 1 COMMENTS	201705	RC
02	CYCLE 2 COMMENTS	201705	RC
03	CYCLE 3 COMMENTS	201905	RC

DESCRIPTION:
CITY OF SACRAMENTO BENCHMARK
NO. 297-D5A. HILTI NAIL IN THE TRAFFIC
LIGHT BASE AT THE NORTHEAST CORNER
OF 16TH AND Q STREETS.

100

SCALE:

11

H: _____

V: _____

1"

ON ORIGINAL SCALE
DRAWING ADJUST
SCALED DIMENSIONS
IF THIS DOES NOT
SCALE AT 1"

DATE MAY



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555

55

15

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GENERAL NOTES

1.

EXCAVATION WITHIN 7' OF BOTH SIDES OF TREE TRUNKS OF ALL EXISTING TREES SHALL BE LIMITED TO HAND EXCAVATION. WHERE ROOTS GREATER THAN 2" IN DIAMETER ARE ENCOUNTERED, THEY SHALL BE CUT BY HAND RESULTING IN SMOOTH CUTS AND NO RAGGED EDGES.
2.

IT IS STRONGLY RECOMMENDED THAT A HYDROVAC OR AIR HOE IS USED TO EXCAVATE AREAS BEYOND 8' AWAY FROM ALL EXISTING TREES. IF USING AIR HOE, PROTECT ALL ADJACENT SURFACES, CARS, BUILDINGS, ETC. FROM FLYING DEBRIS AND DIRT.
3.

PROVIDE ALTERNATE BIDS/SEPARATE LINE ITEMS FOR HYDROVAC AND AIR HOE SERVICES.
4.

WORK SHALL CONFORM TO THESE PLANS AND THE CURRENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
5.

CONTRACTOR SHALL PROVIDE AND USE ALL MEANS NECESSARY TO ENSURE THE PHYSICAL WORK TO BE PERFORMED IS WITHIN CONSTRUCTION STANDARDS AND SAFETY REQUIREMENTS AS SET BY GENERAL SAFETY ORDERS OF TITLE 8, CALIFORNIA CODE OF REGULATIONS, AND SET BY CAL-OSHA REQUIREMENTS, LOCAL, STATE AND NATIONAL BUILDING CODES LATEST EDITIONS.
6.

BIDDING CONTRACTORS ARE RESPONSIBLE FOR PROVIDING ANY OF THEIR PROPOSED MODIFICATIONS OF THE PLANS FOR THE CADA OWNER'S REPRESENTATIVE'S APPROVAL BEFORE THE WORK BEGINS/PROCEEDS. ALLOW AT LEAST THREE WORKING DAYS FOR REVIEW OF SUBMITTALS, SHOP DRAWINGS OR DESIGN QUESTIONS AND CHANGES.
7.

ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
8.

ANY EXISTING FACILITIES SHOWN ON THESE PLANS ARE INFORMATIONAL ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, UTILITY AND WATER MAIN LINES PRIOR TO THE START OF WORK. CONTACT USA ALERT AT 1.800.642.2444 TO AND ALL NECESSARY UTILITY AGENCIES TO IDENTIFY AND LOCATE UNDERGROUND UTILITIES. ALL AREAS TO BE EXCAVATED SHALL BE MARKED WITH WHITE PAINT PRIOR TO CONTACTING USA.
9.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING, SITE LAYOUT AND DIMENSIONS TO CONSTRUCT THE WORK AS DESCRIBED IN THESE PLANS.
10.

THE CONTRACTOR MUST FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, FENCES, HARDSCAPE AND OTHER EXISTING STRUCTURES. ANY EXISTING ITEMS NOT SPECIFICALLY NOTED ON THE PLANS FOR REMOVAL SHALL BE PROTECTED IN PLACE.
11.

CONTRACTOR SHALL NOTIFY THE CADA OWNER'S REPRESENTATIVE IF ANY DISCREPANCIES ARE FOUND WITHIN THE SCOPE OF WORK, DRAWINGS OR SPECIFICATIONS, OR IF ANY ALTERNATES TO SCOPE, DRAWINGS OR SPECIFICATIONS ARE NECESSARY, BEFORE THE WORK BEGINS/PROCEEDS.
12.

THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY EROSION CONTROL AT ALL TIMES. THE CONTRACTOR MUST TAKE NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE, WATER AND/OR SEDIMENT RUN-OFF. CONTRACTOR SHALL ASSURE THAT ANY DEBRIS GENERATED FROM THE WORK DESCRIBED IN THIS PLAN SET IS COLLECTED AND LEGALLY DISPOSED OF OFF THE SITE.
13.

THE CONTRACTOR IS RESPONSIBLE FOR ALL FINE GRADING AND POSITIVE SURFACE GRADING IN ALL LANDSCAPE AREAS. THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
14.

THE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE A MINIMUM OF ONE WEEK PRIOR TO THE START OF WORK. CONTRACTOR MUST COORDINATE THE PRE-CONSTRUCTION MEETING DATE WITH THE LANDSCAPE ARCHITECT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO THE MEETING DATE.
15.

A WORK SCHEDULE IS DUE PRIOR TO THE START OF THE PROJECT.
16.

ANY VARIATION TO THE WORK SCHEDULE MUST BE SUBMITTED TO THE CADA OWNER'S REPRESENTATIVE IN WRITING THE SAME DAY CONTRACTOR LEARNS OF SUCH CHANGE.
17.

THE CONTRACTOR SHALL BE AVAILABLE TO MEET AND REVIEW PROGRESS WITH THE CADA OWNER'S REPRESENTATIVE ON A DAILY BASIS. THE SPECIFIC MEETING TIME IS TO BE ARRANGED BY CONTRACTOR AND OWNER'S REPRESENTATIVE.
18.

THE CONTRACTOR IS REQUIRED TO MAINTAIN CONSISTENT PROJECT SUPERVISION ONSITE AT ALL TIMES DURING WORK. WORK SHALL NOT TAKE PLACE WITHOUT A CONTRACTOR-EMPLOYED REPRESENTATIVE, SUPERINTENDENT OR FOREMAN PRESENT AND ABLE TO COMMUNICATE, DISCUSS, RECEIVE AND EXECUTE INSTRUCTIONS FROM CADA'S OWNER'S REPRESENTATIVE.
19.

ALL WORK SHALL BE COMPLETED WITHIN 40 WORKING DAYS FROM THE DATE OF PROJECT START DATE.
20.

THE CADA OWNER'S REPRESENTATIVE IS TO BE NOTIFIED VIA EMAIL OR IN PERSON BY 10AM OF THE SAME DAY WHEN NO WORK WILL BE COMPLETED AT THE CONSTRUCTION SITE THAT DAY.
21.

ANY EXISTING HARDSCAPE (CONCRETE, ASPHALT, ETC.) SHALL BE SAW CUT AND REMOVED IN A NEAT AND STRAIGHT LINE.
22.

ALL CONCRETE SHALL BE A 6 SACK MIX.
23.

COMPACTION OF BACKFILL BY METHOD OF "JETTING" SHALL NOT BE PERMITTED.
24.

ALL ENGINES USED FOR CONSTRUCTION SHALL USE NOISE SUPPRESSION DEVICES TO MINIMIZE NOISE TO THE SURROUNDING AREAS.
25.

DUST SHALL BE CONTROLLED AT ALL TIMES DURING CONSTRUCTION PERIOD BY APPLICATION OF WATER TO THE SITE, INCLUDING DAYS WHEN CONSTRUCTION ACTIVITY DOES NOT OCCUR.
26.

CONTRACTOR SHALL KEEP THE SITE CLEAN AND ORDERLY DURING AND AFTER WORKING HOURS. THE CONTRACTOR SHALL HOSE OFF THE SIDEWALK EACH EVENING BEFORE LEAVING THE JOB SITE.
27.

ALL ROADS USED BY CONSTRUCTION TRAFFIC SHALL BE KEPT CLEAN AND FREE OF DEBRIS. ANY ROADS THAT DO NOT MEET THESE REQUIREMENTS ARE SUBJECT TO FINES AS PER LOCAL CODES.
28.

ALL USA MARKINGS SHALL BE COMPLETELY REMOVED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
29.

CONTRACTOR SHALL EXERCISE NECESSARY CAUTION TO PROTECT EXISTING LANDSCAPE AND OTHER ITEMS (I.E. LIGHTS, BENCHES, AND SHELTERS) FROM DAMAGE ALL EXISTING ITEMS TO REMAIN THAT ARE DAMAGED BY THE WORK SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
30.

ADJACENT BUILDINGS AND GROUNDS SHALL BE PROTECTED FROM DAMAGES. THE CONTRACTOR WILL REPAIR DAMAGES AT NO EXTRA COST TO CADA WITHIN A 24 HOUR PERIOD.
31.

ALL AS-BUILT PLANS SHALL BE SUBMITTED TO THE CITY PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
32.

HOURS OF CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE CITY OF SACRAMENTO NOISE ORDINANCE, WHICH CONTRACTOR IS RESPONSIBLE FOR REVIEWING BEFORE THE WORK BEGINS NO WORK IS ALLOWED ON SUNDAY. CONTRACTOR AND SUBCONTRACTOR ADHERANCE TO THE NOISE ORDINANCE WILL BE STRICTLY ENFORCED.
33.

THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTOR/SUBCONTRACTOR VEHICLE PARKING, AND MAINTAINING PEDESTRIAN BARRIERS DURING CONSTRUCTION. CONTRACTOR PARKING IN OFFSTREET RESIDENTIAL PARKING SPACES IS NOT PERMITTED.
34.

ALL SURROUNDING APARTMENT UNITS, BUSINESSES AND THE CADA OFFICE WILL BE OCCUPIED DURING THE CONSTRUCTION. THE CONTRACTOR MUST MAINTAIN UNINTERRUPTED CUSTOMER AND EMPLOYEE ACCESS TO THE BUILDING ENTRANCES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN PROPER BARRIER/SIGNAGE FOR PEDESTRIAN SAFETY.
35.

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ENCROACHMENT PERMITS EXCEPT FOR THOSE NEEDED FOR THE BICYCLE RACKS, WHICH CADA WILL APPLY FOR.
36.

NO WORK IS TO COMMENCE BEFORE A CONTRACT IS FULLY EXECUTED, ALL INSURANCE REQUIREMENTS ARE MET, AND CERTIFICATES ARE ON FILE WITH CADA CONTRACTS AND INSURANCE MANAGER.

1"
ON ORIGINAL SCALE
DRAWING ADJUST
SCALED DIMENSIONS
IF THIS DOES NOT
SCALE AT 1"

CITY OF SACRAMENTO
DEPARTMENT OF PUBLIC WORKS


DRAWN BY: R. CAMPOS DESIGNED BY: J. NICOLAUS CHECKED BY: J NICOLAUS
DATE: MAY 17, 2019 R.C.E. NO. DATE: MAY 2019 R.C.E. NO. DATE: MAY 2019



WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3301 C St, Bldg. 100-B
Sacramento, CA 95816
Tel 916.341.7760
Fax 916.341.7767

IMPROVEMENT PLANS FOR
CADA KARMA BREW
PARKWAY STRIP
LANDSCAPE NOTES

WOOD RODGERS



DATE: MAY 17, 2019

P15555500
CPC 17-0004

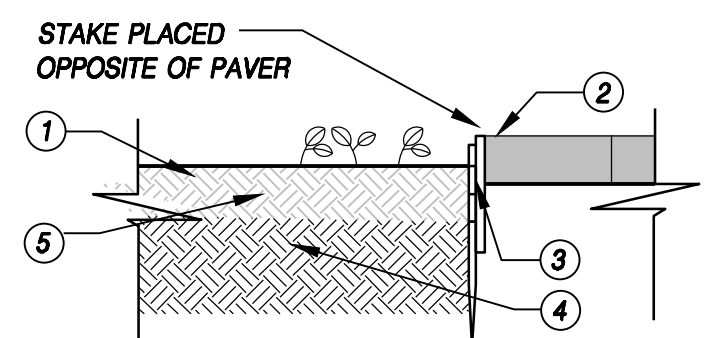
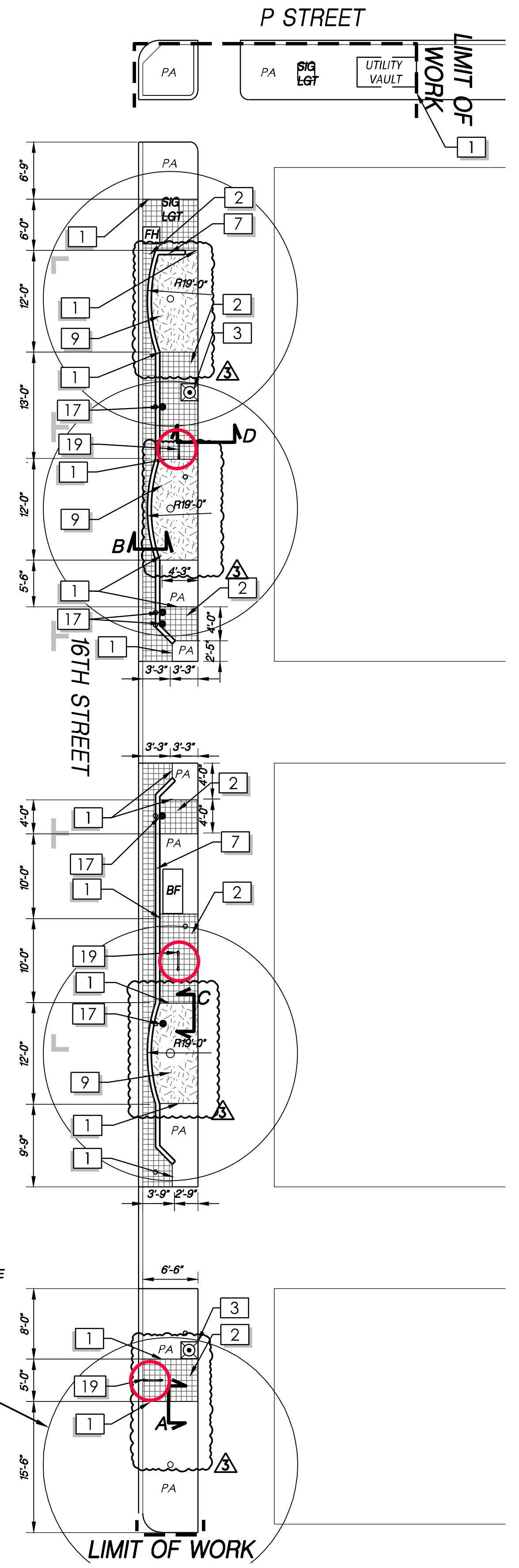
DWG. NO. **L001**
SHEET **2**
OF **7**

WORKING WITHIN PARKWAY STRIP NOTE:

- CONTRACTOR MUST OBTAIN A TREE PERMIT PRIOR TO EXCAVATION OF THE PARK STRIP WITHIN THE DRIP LINE OR TPZ OF ANY CITY TREE.
- CONTRACTOR MUST AVOID CUTTING OR DAMAGING ROOTS GREATER THAN 2" IN DIAMETER PRIOR TO CITY ARBORIST INSPECTION AND APPROVAL.
- INSPECTING ARBORIST MAY REQUIRE ADJUSTMENT OR ELIMINATION OF PAVER INSTALLATION AFTER CONTRACTOR EXPOSES ROOTS.

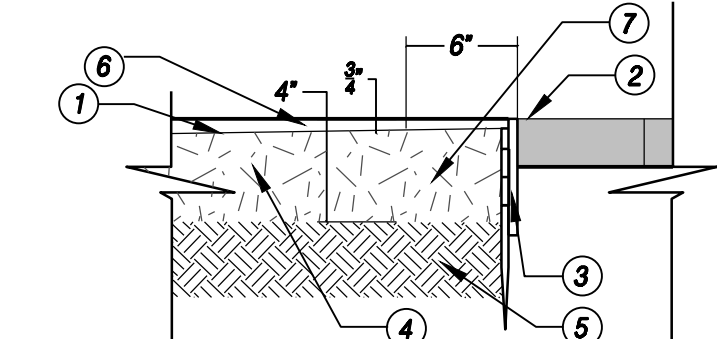
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	SURE LOC EDGING; STEEL HEADER AT PAVER, PLANTER AND GRAVEL SEE DETAIL A
2	PAVESTONE, MODEL COLONY COBBLE MANUFACTURER CONTACT: JODI HOLMES 916.718.5150 INSTALL PER MANUFACTURER RECOMMENDATIONS. SEE DETAIL B CONTRACTOR TO SUBMIT SAMPLE TO OWNER BEFORE ORDERING.
3	LIGHT POST TO RETAIN AND PROTECT IN PLACE
7	POURED IN PLACE CONCRETE RETAINING CURB @ 18" TALL
9	EXCAVATE SOIL TO EXTENT POSSIBLE TO ALLOW FOR 4'-6" THICK WOOD CHIP LAYER HELD 3/4" BELOW FINISH SURFACE OF ADJACENT CURB OR SIDEWALKS. REFER TO GENERAL NOTES SHEET L0.01 FOR MORE INFORMATION.
17	RELOCATE PARKING METERS AND SIGNS TO AREA BEHIND RETAINING CURB. ORIENT METER HEADS IN EXACT SAME POSITION AS EXISTING. REFER TO DETAIL F
19	PENN BIKE RACK, KEYSTONE RIDGE MODEL: PNL-10. POWDERCOAT COLOR: BRONZE. MANUFACTURER CONTACT: BRANDON STEFFANUS 724.284.1213 EXT 230 INSTALL PER MANUFACTURER RECOMMENDATIONS. THE REVOCABLE PERMIT MUST BE APPROVED BY DEVELOPMENT ENGINEERING STAFF SEE DETAIL E CONTRACTOR TO PROVIDE CUT SHEET COLOR: POWDER COAT BRONZE THE REVOCABLE PERMIT MUST BE APPROVED BY DEVELOPMENT ENGINEERING STAFF
PA	PLANTER AREA
FH	FIRE HYDRANT - PROTECT IN PLACE DURING CONSTRUCTION
SIG LGT	SIGNAL LIGHT - PROTECT IN PLACE DURING CONSTRUCTION
BF	EXISTING BACKFLOW AND CONCRETE PAD - PROTECT IN PLACE DURING CONSTRUCTION



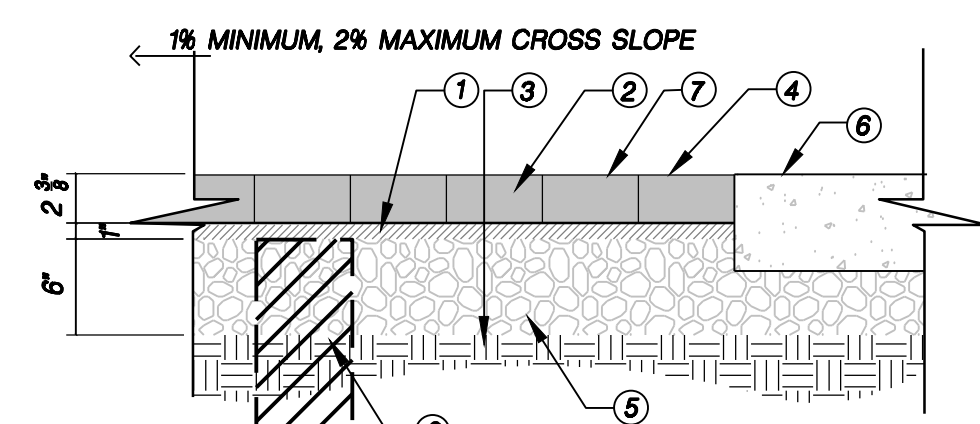
- KEY
- 1 FINISH GRADE IN PLANTER AREAS.
 - 2 FINISH GRADE OF PAVERS SEE DETAIL B
 - 3 SURE LOC, STEEL EDGING SYSTEM. INSTALL PER MANUFACTURER RECOMMENDATIONS
 - 4 UNDISTURBED SUBGRADE
 - 5 PLANTER AREA

A STEEL HEADER
NTS SECTION



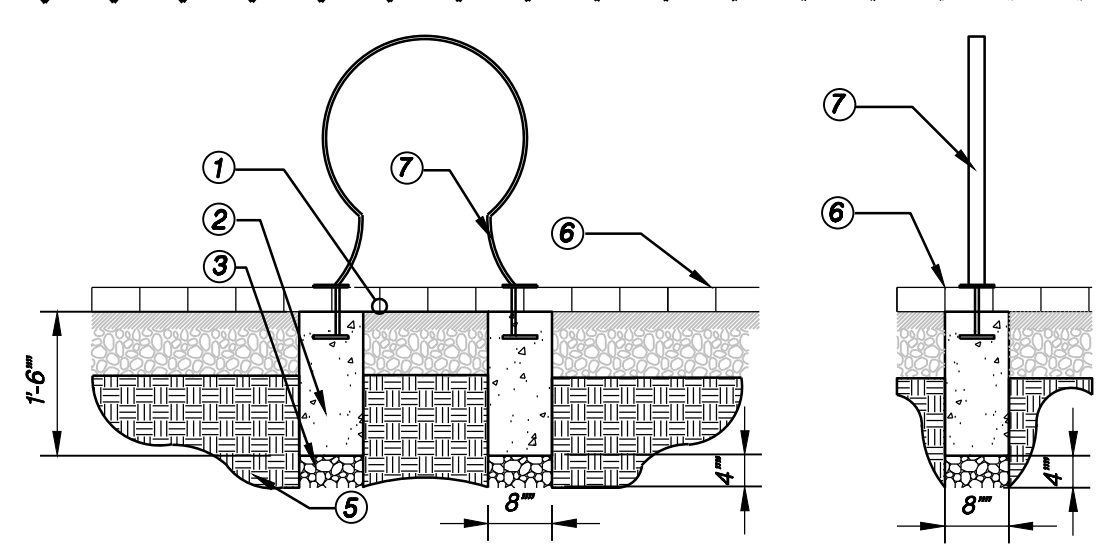
- KEY
- 1 MAX 4" CROWN • CENTER OF ALL PARKWAY STRIPS.
 - 2 FINISH GRADE OF PAVERS SEE DETAIL B
 - 3 STEEL HEADER, REFER TO DETAIL A
 - 4 WOOD CHIPS
 - 5 UNDISTURBED SUBGRADE
 - 6 3/4" FREE BOARD (TO CONTAIN WOOD CHIPS)
 - 7 WOOD CHIP AREA TO BE HAND EXCAVATED AROUND ROOTS OF EXISTING TREES. 4" DEPTH • EDGE OF PAVEMENT

C WOOD CHIP BED
NTS SECTION



- KEY
- 1 BEDDING COURSE WASHED SAND
 - 2 PAVESTONE, MODEL COLONY COBBLE
MANUFACTURER CONTACT: JODI HOLMES 916.718.5150
COLOR: BASALT
INSTALL PER MANUFACTURER RECOMMENDATIONS
PATTERN TO MATCH CADA OFFICE PARKWAY STRIP
 - 3 UNDISTURBED SUBGRADE
 - 4 FINISH GRADE
 - 5 AGGREGATE BASE COMPACTED TO 95% RELATIVE COMPACTION
 - 6 EXISTING PUBLIC SIDEWALK, PROTECT IN PLACE
 - 7 JOINTS TO BE BROOM FILLED WITH SAND
 - 8 FOOTING FOR BIKE RACK
SEE DETAIL E

D PARKWAY PAVER
NTS. PLAN/SECTION

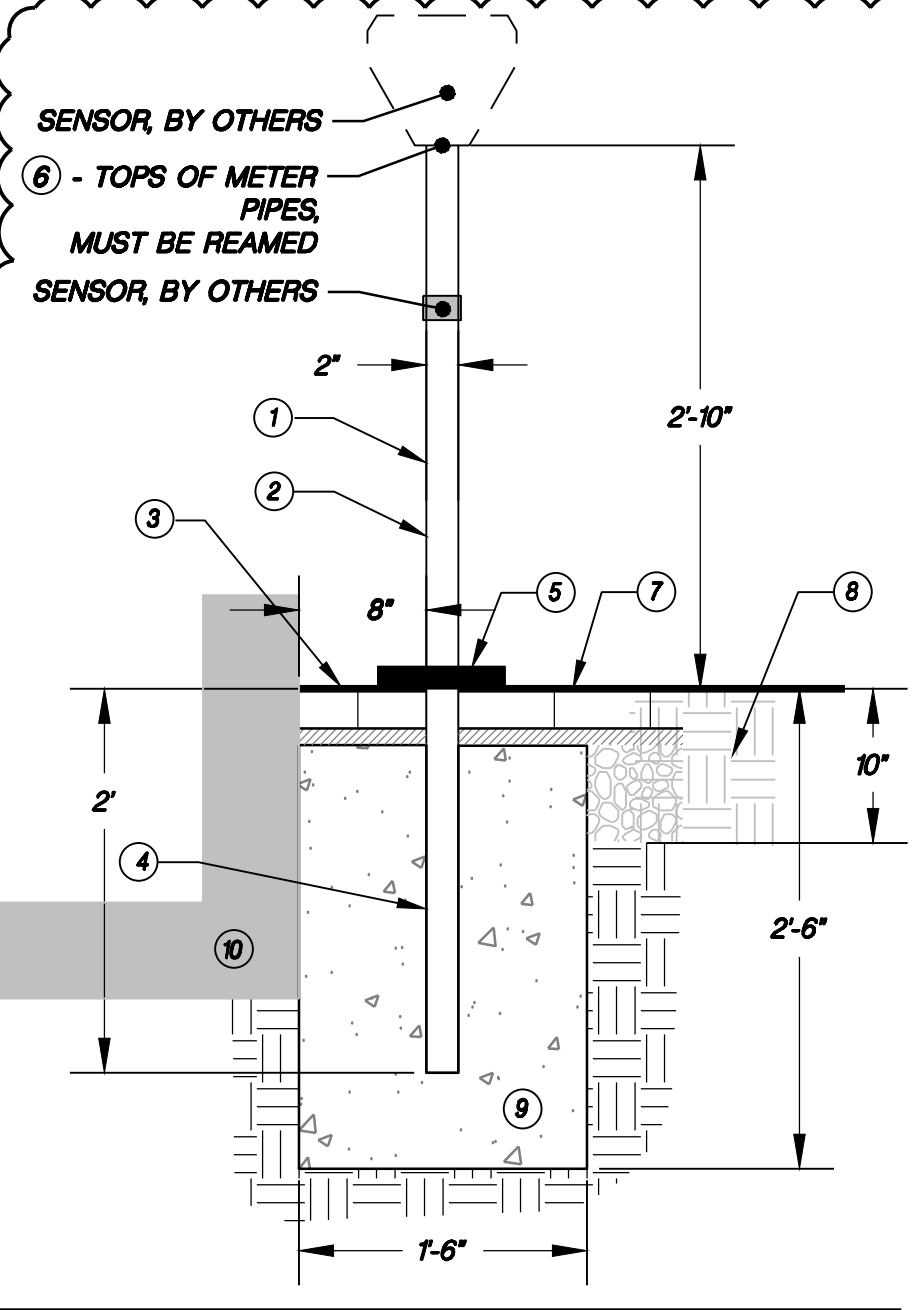


- KEY
- 1 PAVERS REFER TO DETAIL D
 - 2 FOOTING 8"x8"x1'-6"
 - 3 AGGREGATE BASE COMPACTED TO 95%
 - 4 REFER TO DETAIL C
 - 5 UNDISTURBED SUBGRADE
 - 6 FINISHED GRADE
 - 7 PENN BIKE RACK MODEL: PNL-10
REFER TO REFERENCE NOTE 18. INSTALL PER MANUFACTURERS RECOMMENDATIONS

E PENN BIKE RACK FOOTING
1/2" = 1'-0" P-CAT-05

- KEY
- SPECIFICATIONS FOR METER PIPE INSTALLATIONS BY CITY OF SACRAMENTO
- 1 STANDARD INSTALLATION IS 34 INCHES FROM GROUND TO TOP OF PIPE THIS PROVIDES ADA COMPLIANCE WITH THE IPS DISPLAY AND BUTTONS.
 - 2 METER PIPE 2" I.D. (INSIDE DIAMETER), SCHEDULE 40 GALVANIZED STEEL
 - 3 METERS ARE INSTALLED 2 FT. BACK FROM FACE OF CURB AND 2 FT. BACK FROM CURB TAB. METER POLE 8" FROM RETAINING CURB.
 - 4 DIRT INSTALLATION: 58" PIPE = 24 INCHES DEEP IN DIRT (34 INCHES ABOVE DIRT) HEIGHT MEASUREMENT FOR METER PIPE IN DIRT IS TAKEN FROM THE HEIGHT OF THE CURB 58" INSTALLATION IS WITH THE HOLE FILLED COMPLETELY TO THE TOP WITH CONCRETE. SIDEWALK SOLID SET: 52" PIPE = 18 INCHES IN GROUND (34 INCHES ABOVE CONCRETE)
 - 5 SCREW IN OR SOCKET IN CONCRETE: 34" PIPE (8" SOCKET FLUSH WITH TOP OF SIDEWALK) (SCREW IN OR SOCKET IS ONLY REQUIRED IF THE 24" EMBEDMENT IN CONCRETE IS NOT POSSIBLE DUE TO SITE CONDITIONS CONCRETE EMBEDMENT IS PREFERRED)
 - 6 ALL METER PIPES ARE REAMED OR FILED FLAT ON THE TOP.
 - 7 SEE DETAIL D FOR PAVER INSTALLATION
 - 8 PLANTER AREA
 - 9 CONCRETE FOOTING
 - 10 18" CONCRETE RETAINING CURB, SEE DETAIL B

F METER PIPE DETAIL
1" = 1' P-CAT-04



*CONTRACTOR TO SUBMIT ALL PRODUCT CUT SHEETS TO OWNERS REPRESENTATIVE PRIOR TO ORDERING

*CONTRACTOR TO RESERVE PARKING SPACES BEFORE CONSTRUCTION COMMENCES. CONTACT KATIE AT 916-808-8318 CITY OF SACRAMENTO PARKING

EXISTING TREE LOCATIONS:
EXISTING TREES TO RETAIN AND PROTECT.

AB 1881 §490.1 (a) (2)
TOTAL RENOVATED LANDSCAPE AREA = 1071 SF
CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE DOES NOT APPLY TO THIS LANDSCAPE PROJECT.
SIGNED: *John H. Nicolaus* DATE: 05.17.2019



The **PENN BICYCLE RACK** is a simple, unobtrusive design that adds an architectural element to bicycle parking areas. Use alone or with multiple units side by side to accommodate bike capacity needs.



STANDARD FEATURES

- Color: exclusive KEYSHIELD® polyester powder coating finish
- Continuous weld seams
- Three-year warranty
- Made in the USA

CUSTOM OPTIONS

- Color: custom KEYSHIELD® powder coat

ENHANCEMENTS

- Inquire about coordinating benches, litter receptacles, leaning rail, ash urns, planters, tables, and other furnishings
- Laser cuts



670 Mercer Road | Butler, PA 16001-1840
Toll-free: 1-800-284-8208 | Phone: 724-284-1213 | Fax: 724-284-1253
www.keystoneridgedesigns.com

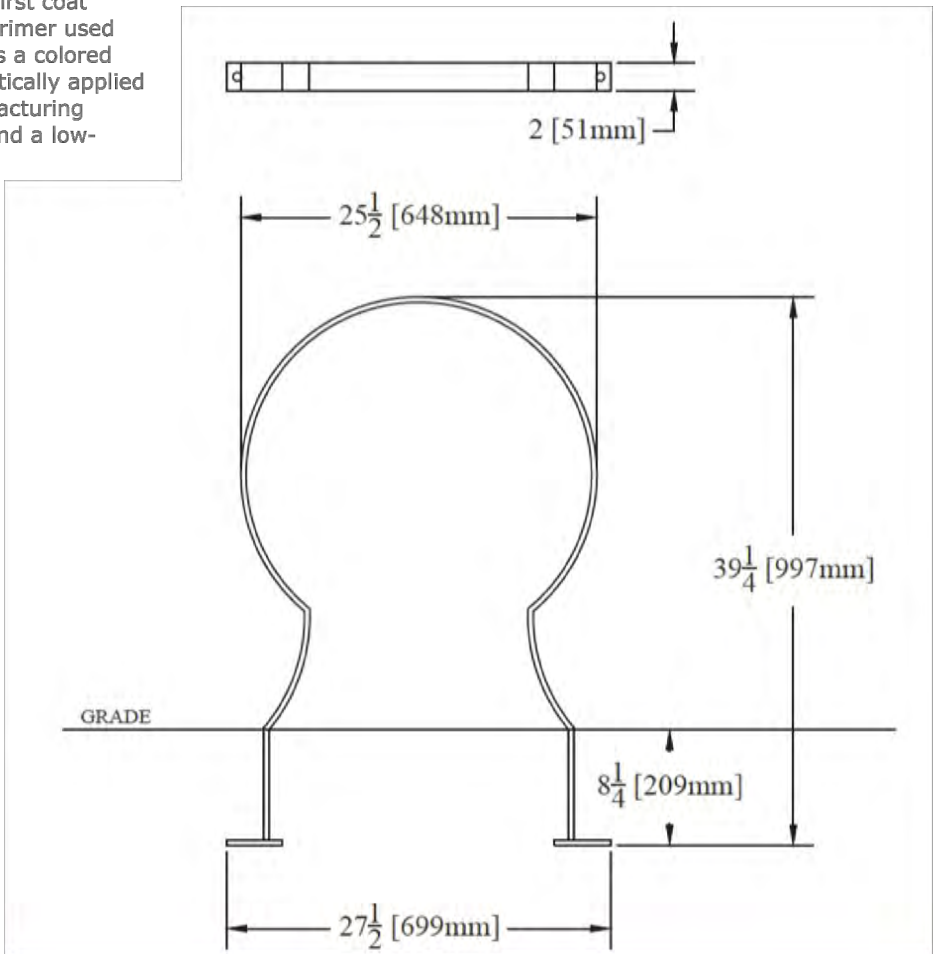


PENN BICYCLE RACK
All Penn pieces are Exclusive By Design™.

KEYSHIELD® METAL FINISH
The trademarked KEYSHIELD® finish protects each piece of furniture from chipping, cracking, and UVA damage while providing unparalleled corrosion resistance. Steel products are finished with a two-coat powder coating process applied to a 7-15 mil thickness. Substrate preparation includes sandblasting to a white finish to remove all surface contaminants. The raw product then receives a corrosion-inhibiting phosphate coating prior to the application of the powder coating. The first coat applied to the substrate is zinc rich epoxy powder primer used exclusively on sandblasted parts. The second coat is a colored polyester powder coating. Both coats are electrostatically applied and oven cured according to powder coating manufacturing specifications to create a smooth, satin-like finish and a low-emitting non-porous armor.

FULLY ASSEMBLED UNIT
The Penn bicycle rack is manufactured in the USA as a fully assembled unit to provide ultimate stability and avoid damage during transit to the site, saving time and money.

MATERIALS
Fully-welded commercial-grade steel construction.



PN-10
LENGTH 27 1/2"
WIDTH 2"
HEIGHT 31"
WEIGHT 45 lbs.



670 Mercer Road | Butler, PA 16001-1840
Toll-free: 1-800-284-8208 | Phone: 724-284-1213 | Fax: 724-284-1253
www.keystoneridgedesigns.com

PROPRIETARY STATEMENT
Keystone Ridge Designs, Inc.® is proud to offer the design community exceptional site amenities. Due to the time and resources invested in designing, manufacturing and marketing Keystone Ridge Designs' products and services,

we pursue design patents, copyrights, trademarks and service marks whenever possible. Any unlawful duplication or misrepresentation of Keystone Ridge Designs' products will be rigorously protected.

WOOD RODGERS

DATE: MAY 17, 2019

REVISIONS			
NO.	DESCRIPTION	DATE	BY
01	CYCLE 1 COMMENTS	201705	RC
02	CYCLE 2 COMMENTS	201705	RC
03	CYCLE 3 COMMENTS	201905	RC

BENCH MARK	ELEV. _____
DESCRIPTION: CITY OF SACRAMENTO BENCHMARK NO. 297-D5A. HILTI NAIL IN THE TRAFFIC LIGHT BASE AT THE NORTHEAST CORNER OF 16TH AND Q STREETS.	

SCALE:
H: _____
V: _____

1"
ON ORIGINAL SCALE
DRAWING ADJUST
SCALED DIMENSIONS
IF THIS DOES NOT
SCALE AT 1"

CITY OF SACRAMENTO
DEPARTMENT OF PUBLIC WORKS

DRAWN BY: R. CAMPOS
DATE: MAY 17, 2019

DESIGNED BY: J. NICOLAUS
R.C.E. NO. _____ DATE: MAY 2019

CHECKED BY: J. NICOLAUS
R.C.E. NO. _____ DATE: MAY 2019

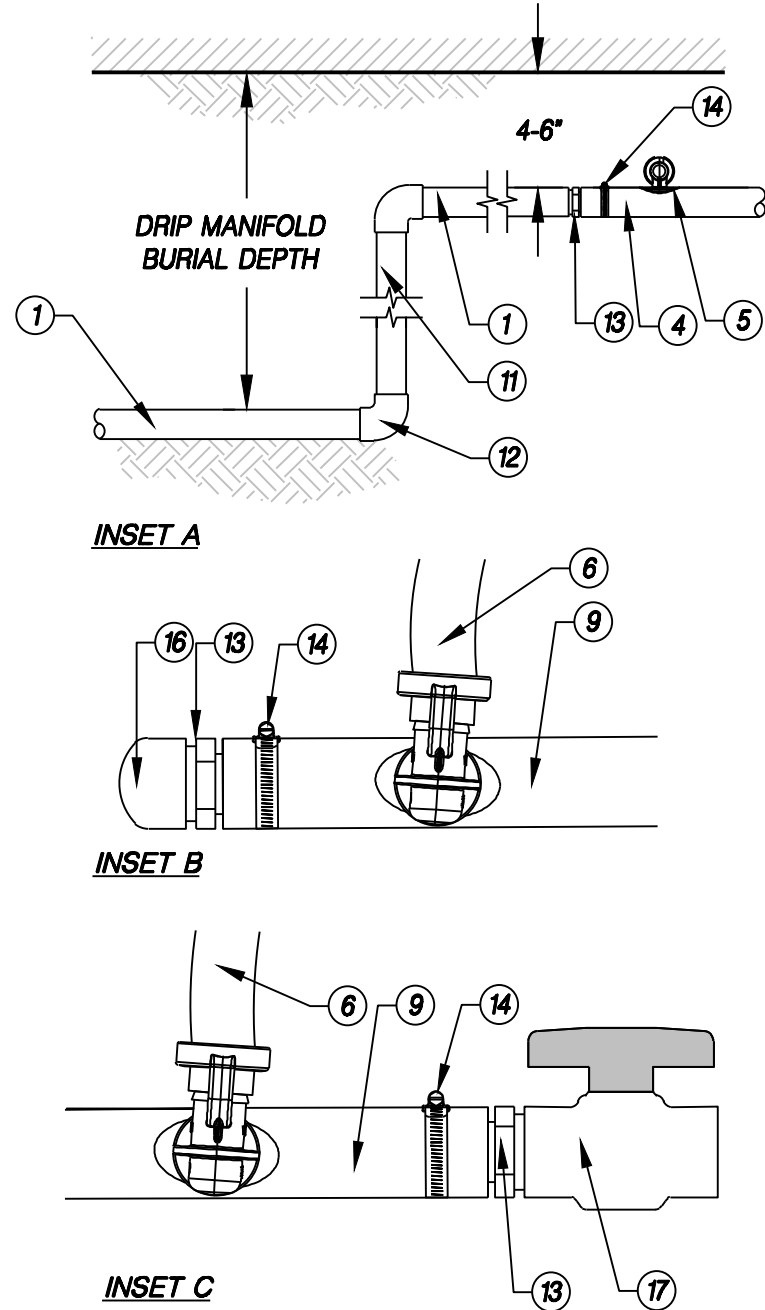
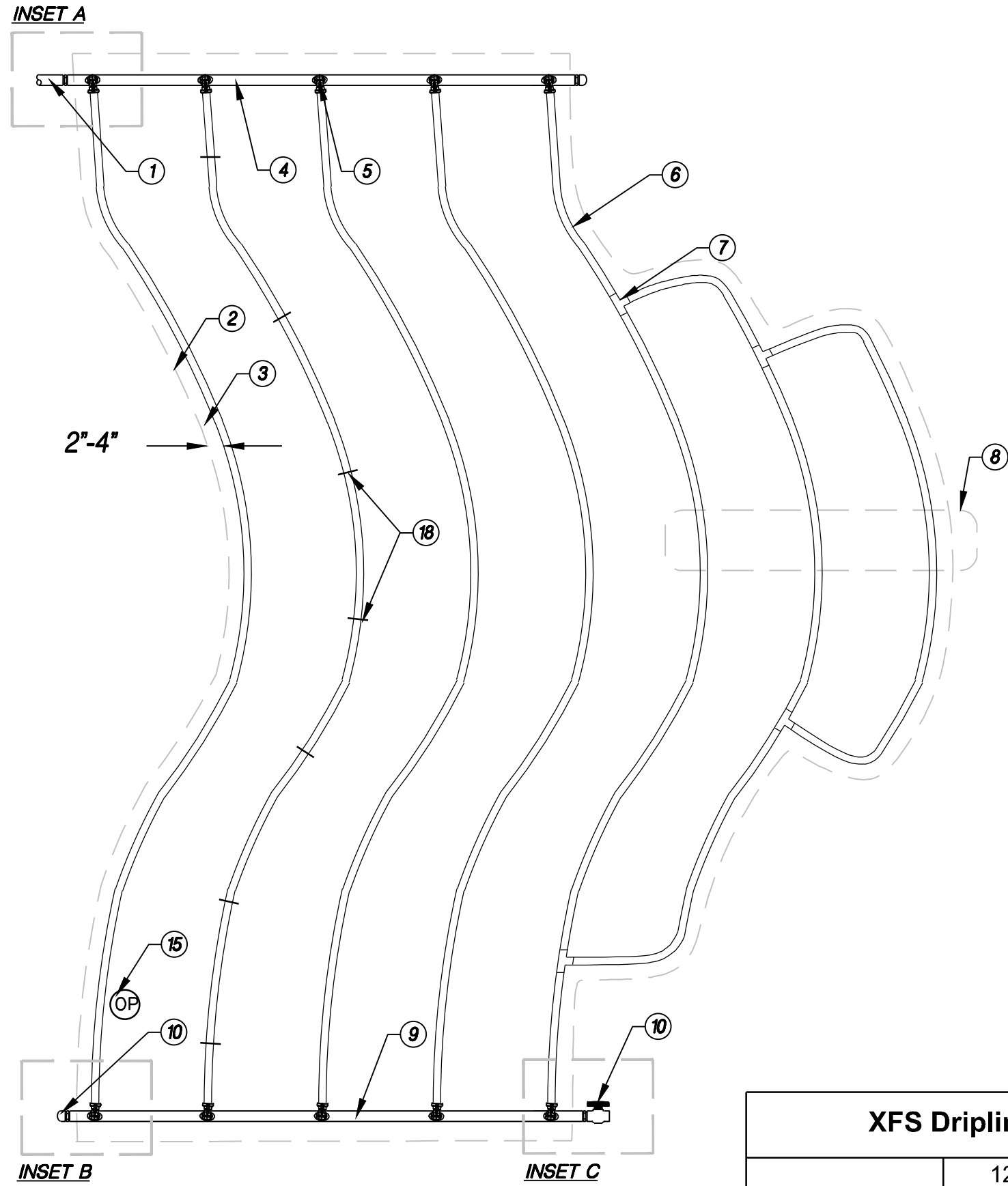
WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3301 C St, Bldg. 100-B
Sacramento, CA 95816
Tel 916.341.7760
Fax 916.341.7767

IMPROVEMENT PLANS FOR
**CADA KARMA BREW
PARKWAY STRIP**
LAYOUT CUT SHEETS

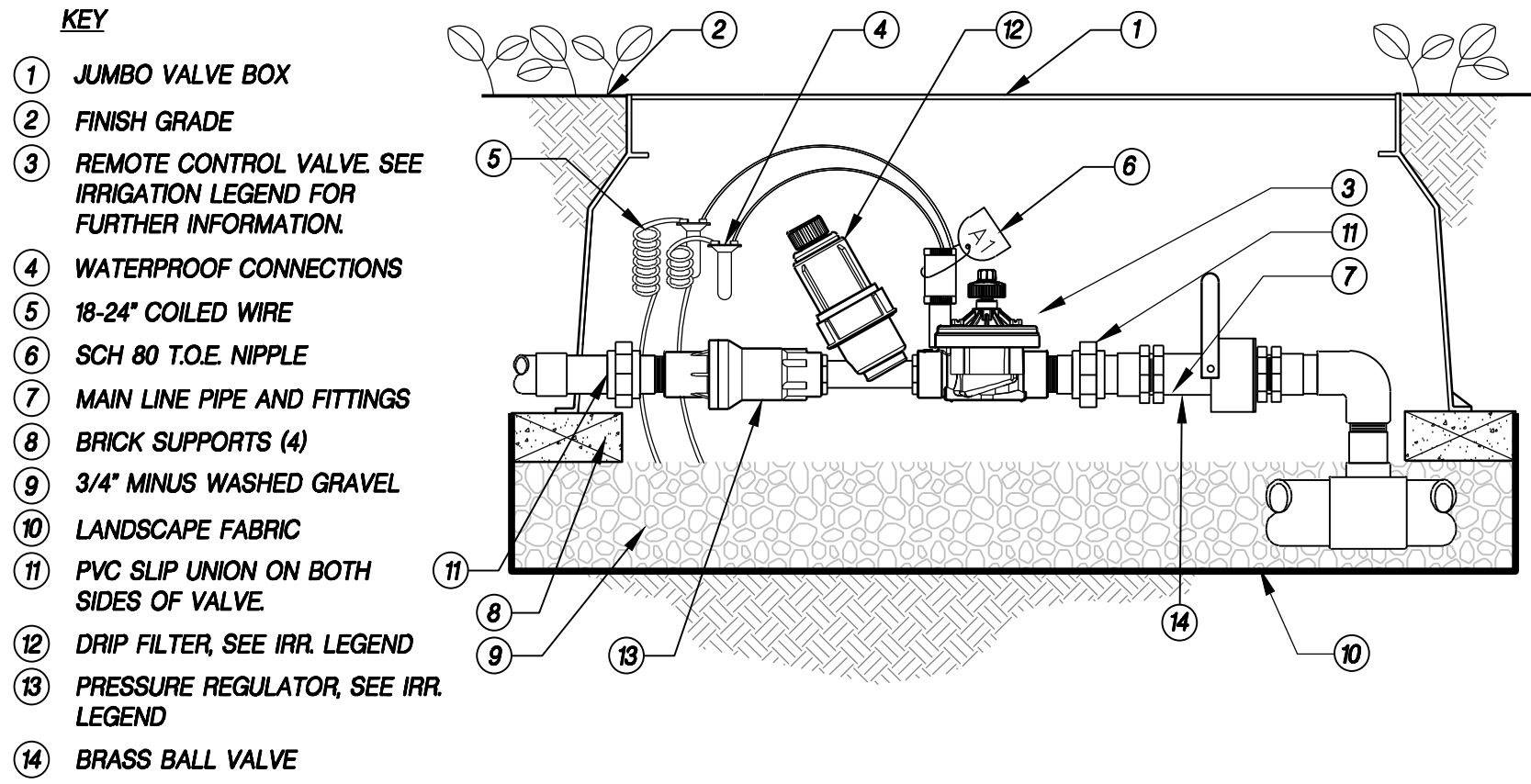
P15555500	CPC 17-0004	DWG. NO. L101
		SHEET 4
		OF 7

- 1 PVC SUPPLY PIPE FROM RAIN BIRD CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 2 PERIMETER OF AREA
- 3 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2'-4" FROM PERIMETER OF AREA
- 4 QF-SUPPLY HEADER
- 5 PRE-INSTALLED BARB FITTING
- 6 RAIN BIRD XFS SERIES DRIPLINE (TYPICAL)
- 7 BARB X BARB INSERT TEE; RAIN BIRD XFF-TEE (TYPICAL)
- 8 TOTAL LENGTH OF SELECTED DRIPLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- 9 QF-FLUSH HEADER
- 10 FLUSH POINT WITH PVC CAP OR OPTIONAL PVC BALL VALVE
- 11 PVC RISER PIPE
- 12 PVC SCH 40 ELL (TYPICAL)
- 13 MALE ADAPTER INSERT
- 14 STAINLESS STEEL, OETIKER OR MURRAY CLAMP
- 15 OPERATION INDICATOR RAIN BIRD MODEL: OPERIND
- 16 PVC SCH 40 CAP
- 17 PVC SCH 40 BALL VALVE
- 18 XF SERIES TIE-DOWN STAKES (TDS-050) REFER TO RAIN BIRD DRIPLINE DESIGN GUIDE FOR PROPER SPACING

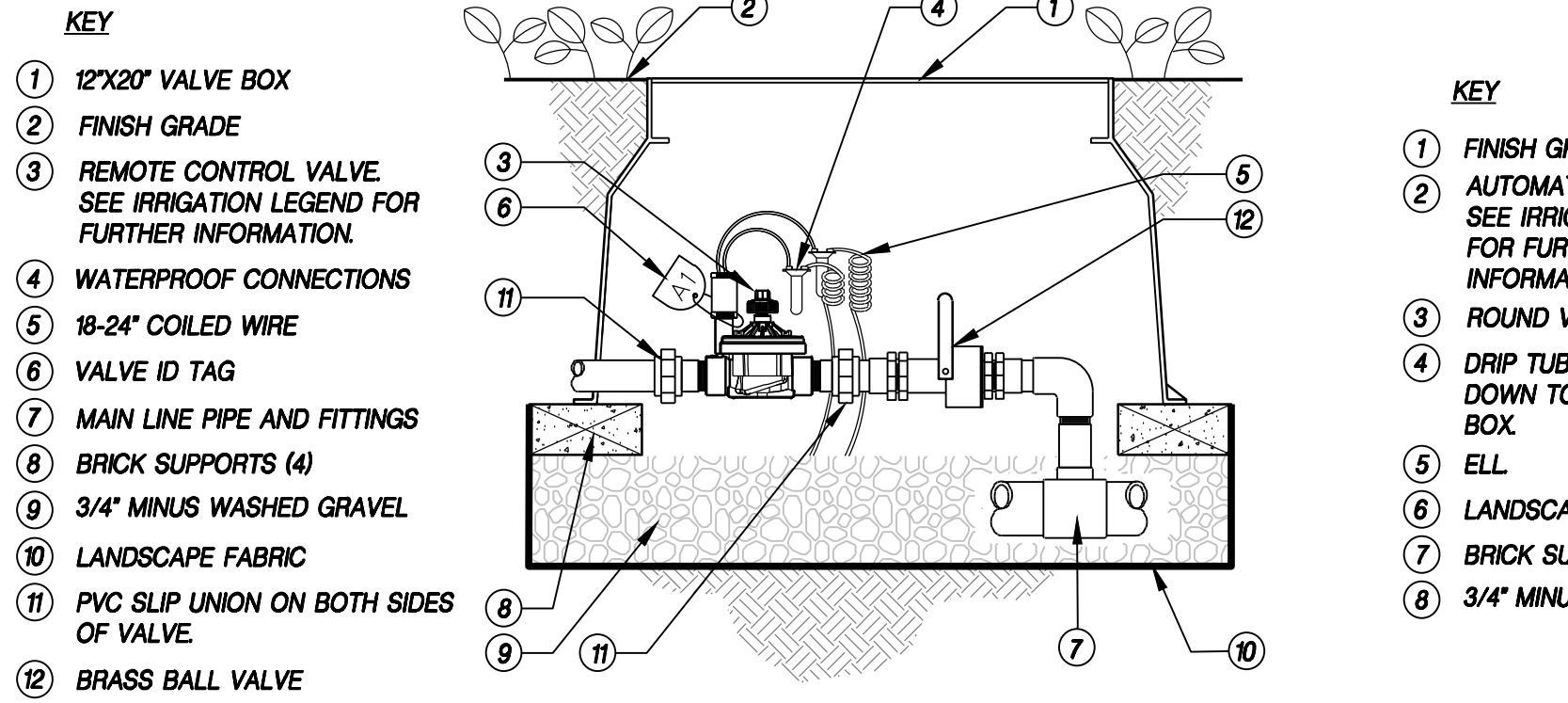
- NOTES:
- 1 DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION. SEE INSTALLATION SPECIFICATIONS ON RAIN BIRD WEB SITE (WWW.RAINBIRD.COM) FOR SUGGESTED SPACING.
- 2 LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
- 3 PLACE TIE DOWN STAKES EVERY THREE FEET IN SAND, FOUR FEET IN LOAM, AND FIVE FEET IN CLAY.
- 4 AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.



XFS Dripline Maximum Lateral Lengths (Feet)						
Inlet Pressure psi	12" Spacing		18" Spacing		24" Spacing	
	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)	Nominal Flow (gph)
15	273	155	314	250	424	322
20	318	169	353	294	508	368
30	360	230	413	350	586	414
40	395	255	465	402	652	474
50	417	285	528	420	720	488
60	460	290	596	455	780	514

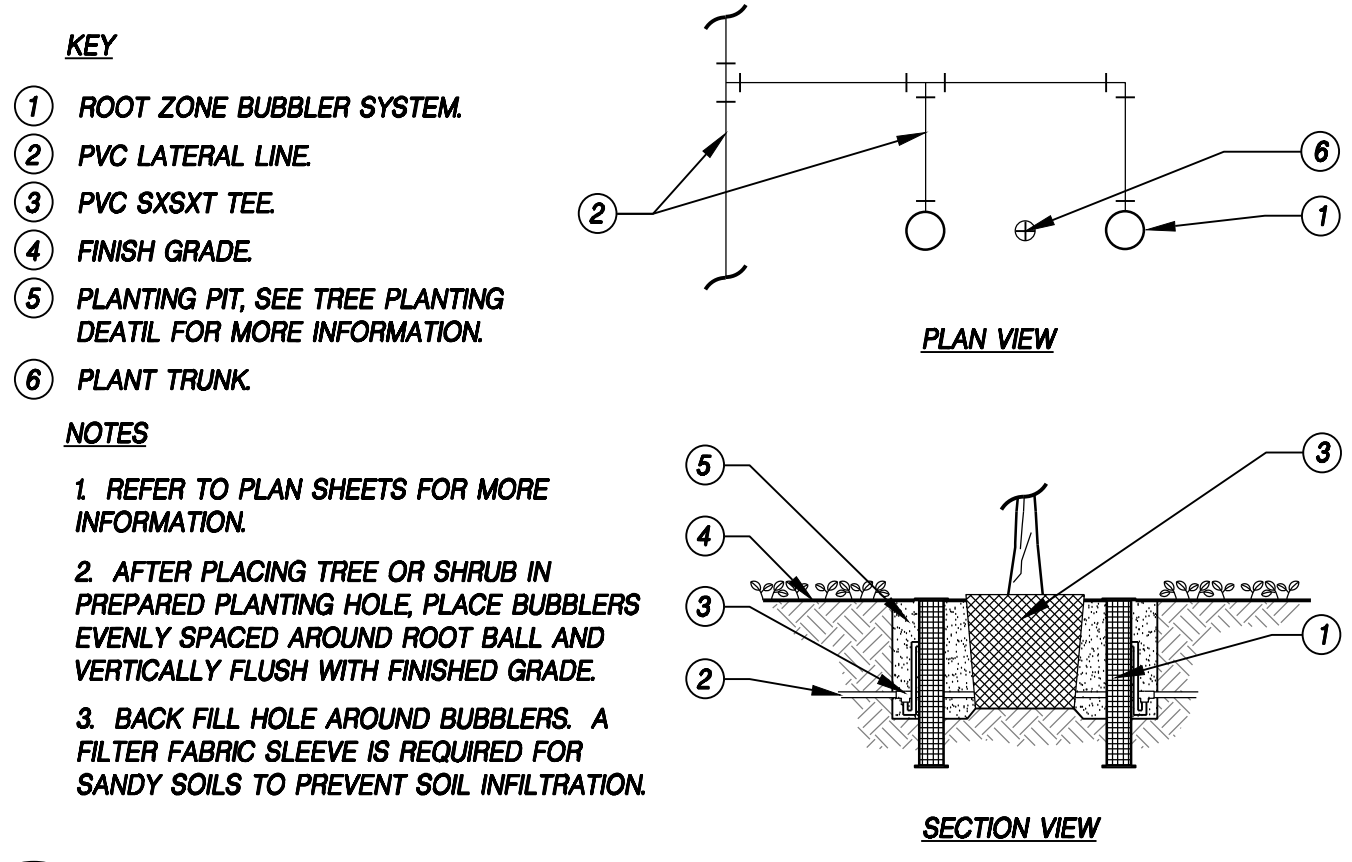
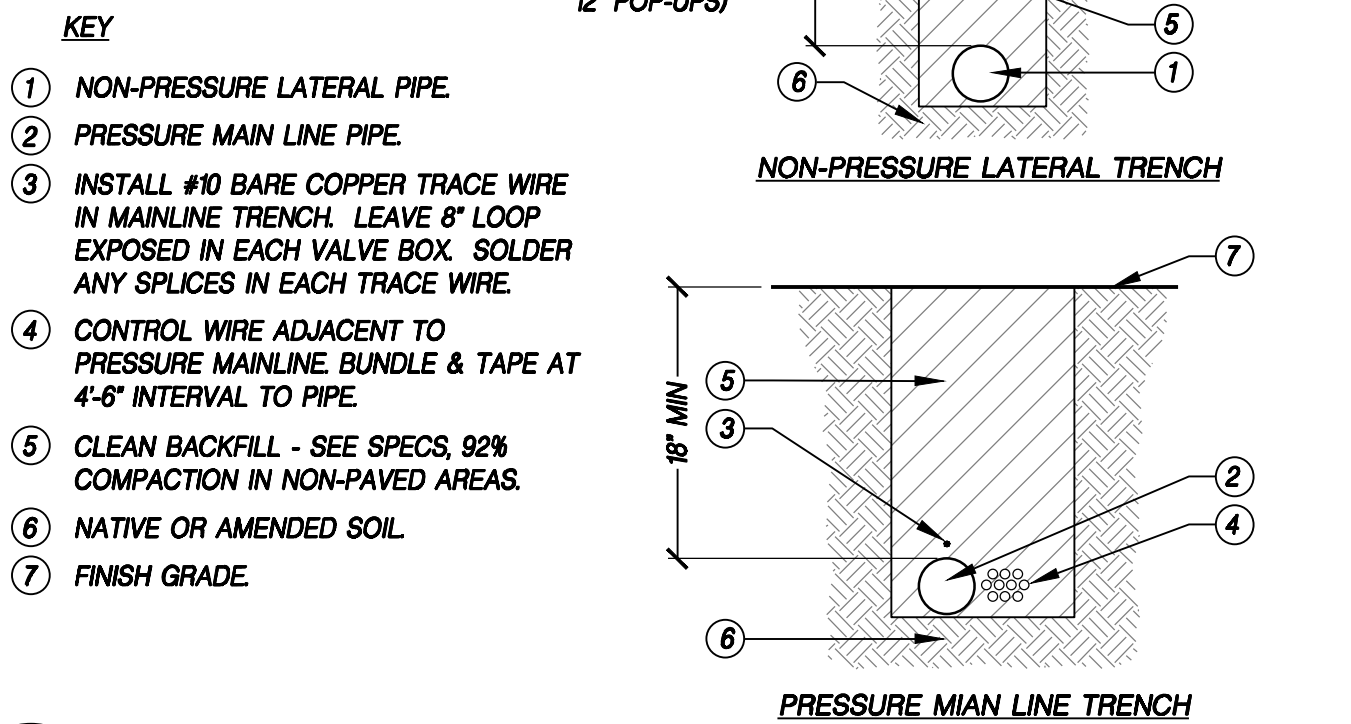
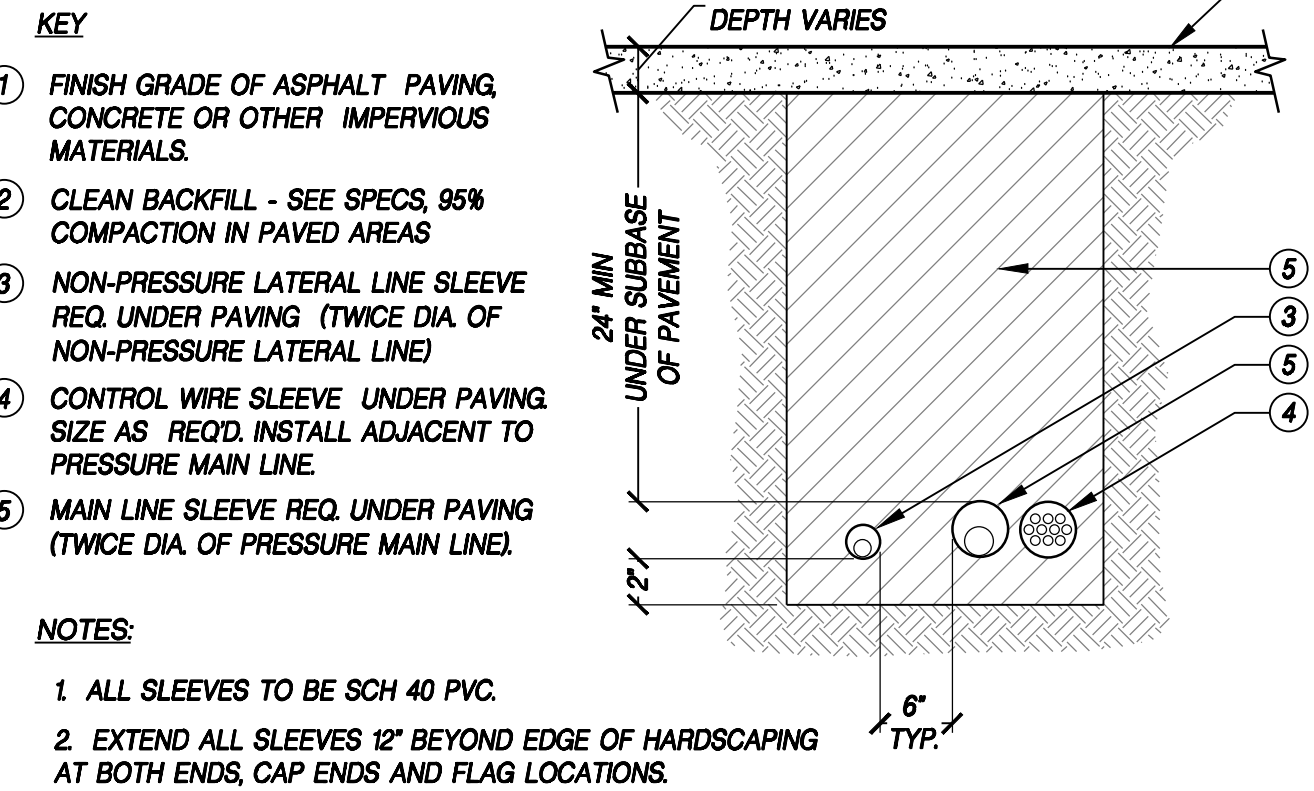


B ELECTRIC CONTROL VALVE W/ DRIP FILTER AND PSI REG. NTS. WR-IR-VAL-04



C ELECTRIC CONTROL VALVE W/ BALL VALVE NTS. SECTION

D AUTOMATIC FLUSH VALVE NTS. SECTION



E PIPE TRENCHING UNDER PAVEMENT NTS. SECTION

F PIPE TRENCHING NTS. SECTION

G ROOT ZONE BUBBLER NTS. SECTION

PLANT SCHEDULE

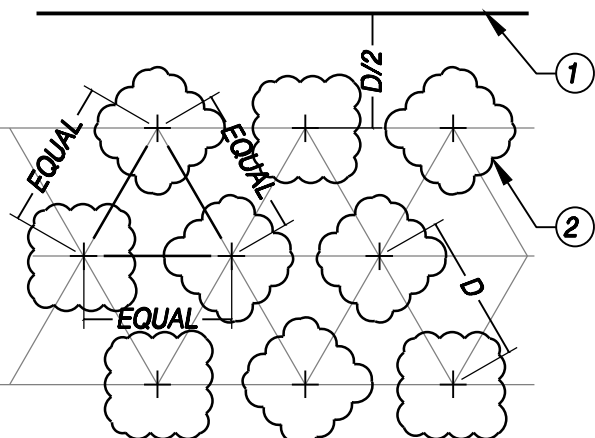
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE
CT	175	BERKELEY SEDGE / CAREX TUMULICOLA	1 GAL
NG	39	HEAVENLY BAMBOO / NANDINA D. 'GULF STREAM'	5 GAL

PLANTING NOTES

- UPON AWARD OF CONTRACT, CONTRACTOR SHALL IMMEDIATELY CONTACT LANDSCAPE ARCHITECT IF ANY PLANT MATERIAL IS NOT AVAILABLE AND NOTIFY LANDSCAPE ARCHITECT OF PROPOSED PLANT SUBSTITUTES. FINAL PLANT SUBSTITUTES SHALL BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO ORDERING. ANY PLANT SUBSTITUTES SHALL NOT ALTER THE CONTRACTORS BID UNLESS A CREDIT IS DUE TO THE OWNER.
- PLANT SYMBOL LOCATIONS ARE INFORMATIONAL AND SUBJECT TO MINOR FIELD REVISIONS BASED ON ACTUAL CONDITIONS. CONTRACTOR MUST REVIEW FIELD CONDITIONS AND NOTIFY LANDSCAPE ARCHITECT IF ANY MAJOR REVISIONS ARE REQUIRED.
- THE CONTRACTOR MUST CONTACT LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS IN ADVANCE OF PLANT DELIVERY TO THE PROJECT SITE TO SCHEDULE A PLANT INSPECTION FOR WRITTEN APPROVAL OF PLANT MATERIAL. ANY PLANT MATERIAL INSTALLED PRIOR TO WRITTEN APPROVAL BY LANDSCAPE ARCHITECT IS SUBJECT TO REMOVAL AND REPLACEMENT AT NOT COST TO THE OWNER.
- EXCAVATED PLANT PITS SHALL PROVIDE ADEQUATE DRAINAGE FOR PLANT SURVIVAL. CONTRACTOR SHALL FILL EXCAVATED PLANT PITS WITH WATER AND ENSURE THAT ALL PLANT PITS DRAIN WITHIN ONE HOUR.
- AFTER PLANTING IS COMPLETE, A PRE-EMERGENT WEED KILLER SHALL BE USED TO CONTROL WEEDS ON ALL NON-TURF AREAS.
- PLANTER AREAS SHALL HAVE A MINIMUM SLOPE OF 15-2% AND A MAXIMUM SLOPE OF 2:1.
- A 3" LAYER OF WOOD CHIPS IS REQUIRED IN ALL PLANTER AREAS.
- CONTRACTOR TO LOCATE ALL TREES NO CLOSER THAN FIVE FEET FROM BUILDING AND THREE FEET FROM CURBS OR WALKS.
- CONTRACTOR SHALL INSTALL LINEAR ROOT BARRIERS ADJACENT TO ANY HARDSCAPE LOCATED WITHIN 5' OF A TREE PLANTING. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- ALL NURSERY STAKES SHALL BE REMOVED PRIOR TO THE START OF THE 90 DAY MAINTENANCE PERIOD.
- SOIL TESTING:
 - COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. FOUR (4) SAMPLES ARE REQUIRED - AT EACH ENTRY, CONTRACTOR SHALL COLLECT SAMPLES IN THE PRESENCE OF OWNERS REPRESENTATIVE. SAMPLE LOCATION TO BE IDENTIFIED ON THE PLAN BY THE CONTRACTOR.
 - EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
 - AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS.
- FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOIL. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING (492.6.3.C).

KEY

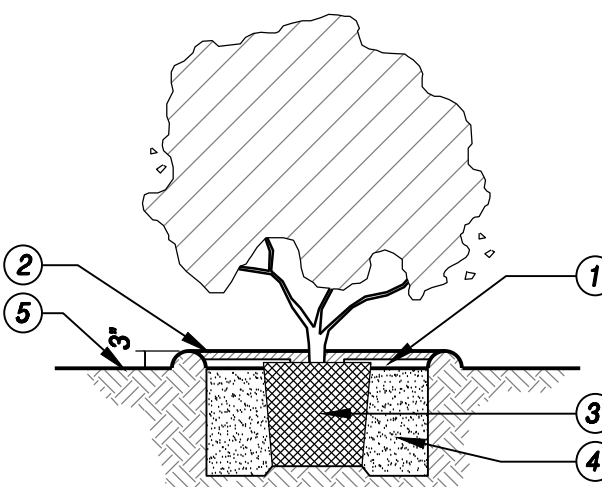
- MOW CURB, PAVEMENT EDGE, OR WOOD HEADER (AS APPLICABLE).
- GROUND COVER PLANT, SIZE AND SPACING AS DENOTED ON PLANTING LEGEND. SPACE ON CENTER AND IN TRIANGULAR PATTERN.



A GROUND COVER SPACING/LAYOUT
NTS PLAN

KEY

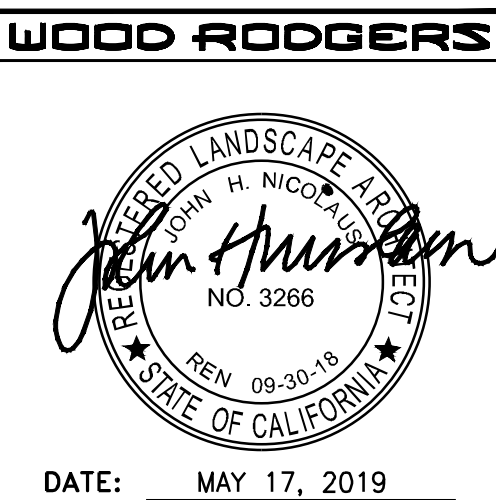
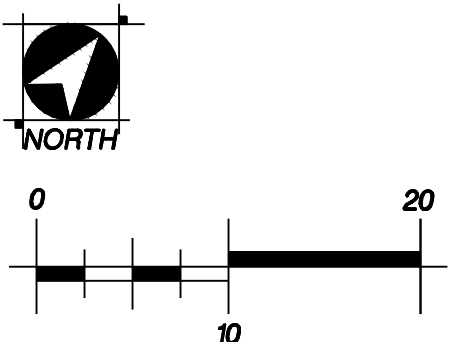
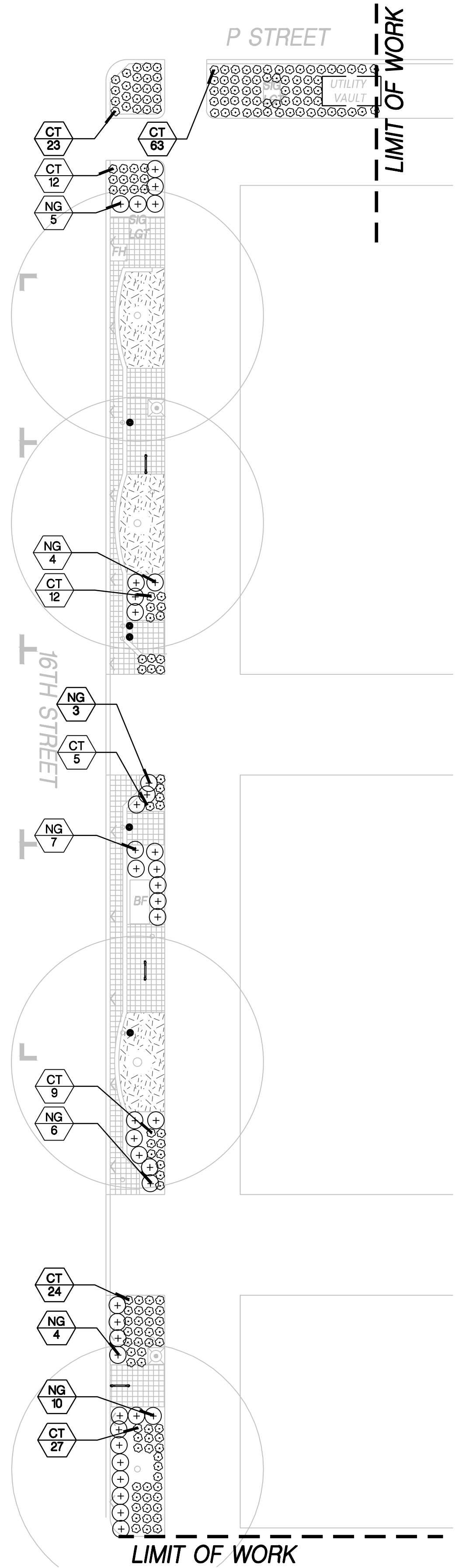
- BARK MULCH, KEEP 3" MIN. AWAY FROM TRUNK.
- WATER RETENTION BERM.
- ROOT BALL, SET CROWN 2" ABOVE FINISH GRADE.
- PLANTING PIT WIDTH TO BE TWICE THE DIAMETER OF ROOTBALL.
- FINISH GRADE.



B SHRUB PLANTING
NTS SECTION

FH FIRE HYDRANT - PROTECT IN PLACE DURING CONSTRUCTION
SIG LGT SIGNAL LIGHT - PROTECT IN PLACE DURING CONSTRUCTION
BF EXISTING BACKFLOW AND CONCRETE PAD - PROTECT IN PLACE DURING CONSTRUCTION

AB 1881 §490.1 (a) (2)
TOTAL RENOVATED LANDSCAPE AREA = 1071 SF
CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE DOES NOT APPLY TO THIS LANDSCAPE PROJECT.
SIGNED: *John H. Nicolaus* DATE: 05.17.2019



REVISIONS			
NO.	DESCRIPTION	DATE	BY
01	CYCLE 1 COMMENTS	201705	RC
02	CYCLE 2 COMMENTS	201705	RC
03	CYCLE 3 COMMENTS	201905	RC

BENCH MARK ELEV. _____
DESCRIPTION:
CITY OF SACRAMENTO BENCHMARK
NO. 297-D5A. HILT NAIL IN THE TRAFFIC
LIGHT BASE AT THE NORTHEAST CORNER
OF 16TH AND Q STREETS.

SCALE:
H: _____
V: _____

1"
ON ORIGINAL SCALE
DRAWING ADJUST
SCALED DIMENSIONS
IF THIS DOES NOT
SCALE AT 1"

CITY OF SACRAMENTO
DEPARTMENT OF PUBLIC WORKS
DRAWN BY: R. CAMPOS
DATE: MAY 17, 2019
DESIGNED BY: J. NICOLAUS
R.C.E. NO. _____ DATE: MAY 2019
CHECKED BY: J. NICOLAUS
R.C.E. NO. _____ DATE: MAY 2019

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
3301 C St, Bldg. 100-B
Sacramento, CA 95816
Tel 916.341.7760
Fax 916.341.7767

IMPROVEMENT PLANS FOR
CADA KARMA BREW
PARKWAY STRIP
PLANTING PLAN

P15555500
CPC 17-0004
DWG. NO. L300
SHEET 7
OF 7



CAPITOL AREA DEVELOPMENT AUTHORITY — Bids Received

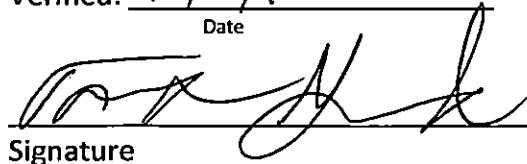
Project: Karma Brew Parkway Strips Replacement Project – 1520-1530 16th St, Sacramento, CA

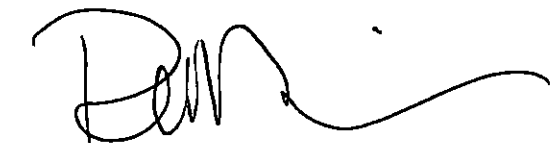
Job Walk: Wednesday, December 4, 2019 @ 10:00 a.m. @ 1530 16th Street, Sacramento

Bid Opening: Wednesday, December 11, 2019 @ 2:00 p.m. @ 1522 14th Street, Sacramento

	Name of Company	Bid
1.	Pro Builders	\$88,880.00
2.	Elite Service Experts	\$79,833.00
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Verified: 12/11/19
Date


Signature


Signature

RESOLUTION NO. 20 - _____

January 24, 2020

Adopted by the Capitol Area Development Authority

**RESOLUTION AUTHORIZING THE EXECUTIVE DIRECTOR TO ENTER INTO A
LANDSCAPE CONSTRUCTION CONTRACT WITH ELITE SERVICE EXPERTS FOR THE
16TH STREET PARKWAY IMPROVEMENT PROJECT
BETWEEN OPERA ALLEY AND P STREET**

WHEREAS, In 2016, CADA retained Wood Rodgers to provide landscape architectural services to CADA for three parkway parkway strips projects including on 16th Street adjacent to the Karma Brew and Legado de Ravel leasing offices; and

WHEREAS, in November 2019 CADA issued a bid package to the landscape contracting community describing the project and inviting submission of bids to do the work; and

WHEREAS, Elite and Pro Builders submitted bids and staff determined Elite's \$79,033 bid to be the lowest responsive, responsible bid; and

WHEREAS, staff recommends the Board authorize CADA to enter into a construction contract with Elite.

NOW, THEREFORE, BE IT RESOLVED, by the CADA Board of Directors that:

1. The Executive Director is authorized to enter into a construction contract in the amount of \$79,033 with Elite Service Experts to re-landscape the 16th Street parkway strip between Opera Alley and P Street.

ATTEST:

Ann Bailey, Chair

Rachel Mercurio
Secretary to the Board of Directors