



March 15, 2024

TO: CADA Board of Directors

**SUBJECT: March 22, 2024 Board Meeting
AGENDA ITEM 6
POOL REMOVAL AND PATIO LANDSCAPING PROJECT AT 1420 O STREET**

CONTACT PERSON: Frank Czajka, Construction Manager
Russ Juneau, Facility Maintenance Manager

RECOMMENDATION

Staff recommends the Board adopt a resolution (Attachment 4) authorizing the Executive Director to enter into a construction contract for the Pool Removal and Patio Landscaping Project at 1420 O Street with Pro Builders in the amount of \$108,800. A two-thirds vote of the Board is required to approve this resolution, which finds that it is in CADA's best interest to suspend competitive bidding for the reasons set forth below.

BACKGROUND

1420 O Street is a 27-unit unit apartment building constructed in 1958 and managed by CADA. The building's courtyard pool and patio are cracked and severely displaced due to age and the roots of the trees on the neighboring property. The pool is no longer in a serviceable condition, is leaking copious amounts of water, and is surrounded by a concrete pool deck that is badly cracked in many areas. For this reason, staff concluded that the pool needed to be buried and replaced with an attractively-designed landscaped patio seating area. As with other recent CADA landscape projects, this one features plantings that are climate-appropriate, which will result in limited irrigation needs once the plants are established. The new layout of the patio area will result in several different seating areas for CADA's residents and should result in the patio area becoming a more pleasant gathering place for our residents. Finally, removing the pool will assist CADA in its efforts to comply with Governor's mandates to reduce water consumption on State-owned properties. In this case, the leak will be eliminated along with the problem of pool water loss through evaporation. The contractor will install new plants, trees, irrigation, drainage, and hardscape as per the staff-approved drawings provided by Miridae.

The project scope of work (design plans) were prepared by Miridae, a professional landscape design company that until recently has served as CADA's on-call landscape architecture company¹. (See Attachment 1, 1420 O Street Patio Landscape Drawing Set).

Staff solicited bids for the project through CADA's formal bidding process. The bid package was released on February 12, 2024.

¹ Miridae's owner recently decided to end his involvement with the company for personal reasons and as such, Miridae no longer has capacity to perform construction inspection services for CADA; CADA staff are searching for a suitable replacement on-call landscape architecture firm.

The mandatory pre-bid job walk was held on February 27, 2024 at 10:00 a.m., and was attended by two contractors/companies (See Attachment 2, Job Walk Sign-in Sheet). One bid submission was received on the due date of March 7, 2024 at 2:00 p.m. (See Attachment 3, Bid Tabulation Form).

Pro Builders submitted a bid of \$128,000 which was determined to be a responsive, responsible bid following staff review.

Under CADA's Joint Powers Agreement, CADA's exercise of its powers is subject to the limitations upon the exercise of those powers applicable to the City of Sacramento. As a charter city, Sacramento has more discretion on how it awards contracts for construction work. For example, the City Council has the authority, on a two-thirds vote, to determinate that "it is in the best interests of the City to suspend competitive bidding for any contract." The CADA Board likewise has this authority, and staff is recommending that the Board exercise that authority here. The facts supporting this recommendation include:

1. Only one bid was received for the project;
2. The bidder included the purchase of furniture in the bid, which CADA intends to purchase separately;
3. After discussions, the bidder agreed to reduce its bid by \$19,200.
4. There is no guarantee that rebidding the project would lead to more than one bid, and rebidding would delay completion of the work by approximately four weeks.

Accordingly, staff recommends the Board authorize the Executive Director to enter into a construction contract with Pro Builders in the amount of \$108,800 as continuing the bidding process in an attempt to get more than one bidder would delay this much-needed work.

If the Board approves this recommendation, staff will issue a notice of award to Pro Builders immediately. The work should commence by Mid-April and it is anticipated to take approximately six to eight weeks to complete, weather permitting.

The approval will allow CADA to move forward with the Pool Removal and Patio Landscaping Project at 1420 O Street and will allow our tenants to live in an upgraded building where they will have access to a safe and functional outdoor area to enjoy.

POLICY

This item comes before the Board because the contract award amount exceeds the \$50,000 contract approval authority of the Executive Director. Construction contracts in excess of \$50,000 must be formally bid in accordance with CADA Contract Policy, and authorization for a contract award must be granted by the Board of Directors.

FINANCIAL IMPACTS

Work under this contract will be performed using funds allocated in the Development budget C24 - FY 23/24, which was adopted by the Board in June 2023, and contains a total of \$95,000 for this project. The additional \$8,800 required for this project will be funded through the C23 contingency budget.

ENVIRONMENTAL REVIEW

Not applicable. This project falls under the categorical exemption for existing facilities in class 1, section 15301. Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical

equipment, or topographical features, involving negligible or no expansion of existing or former use.

STRATEGIC PLAN

The proposed action addresses the following 2016-2021 CADA Strategic Plan goal: “Provide Superior Property Management.”

CONTRACT AWARD CONSIDERATIONS

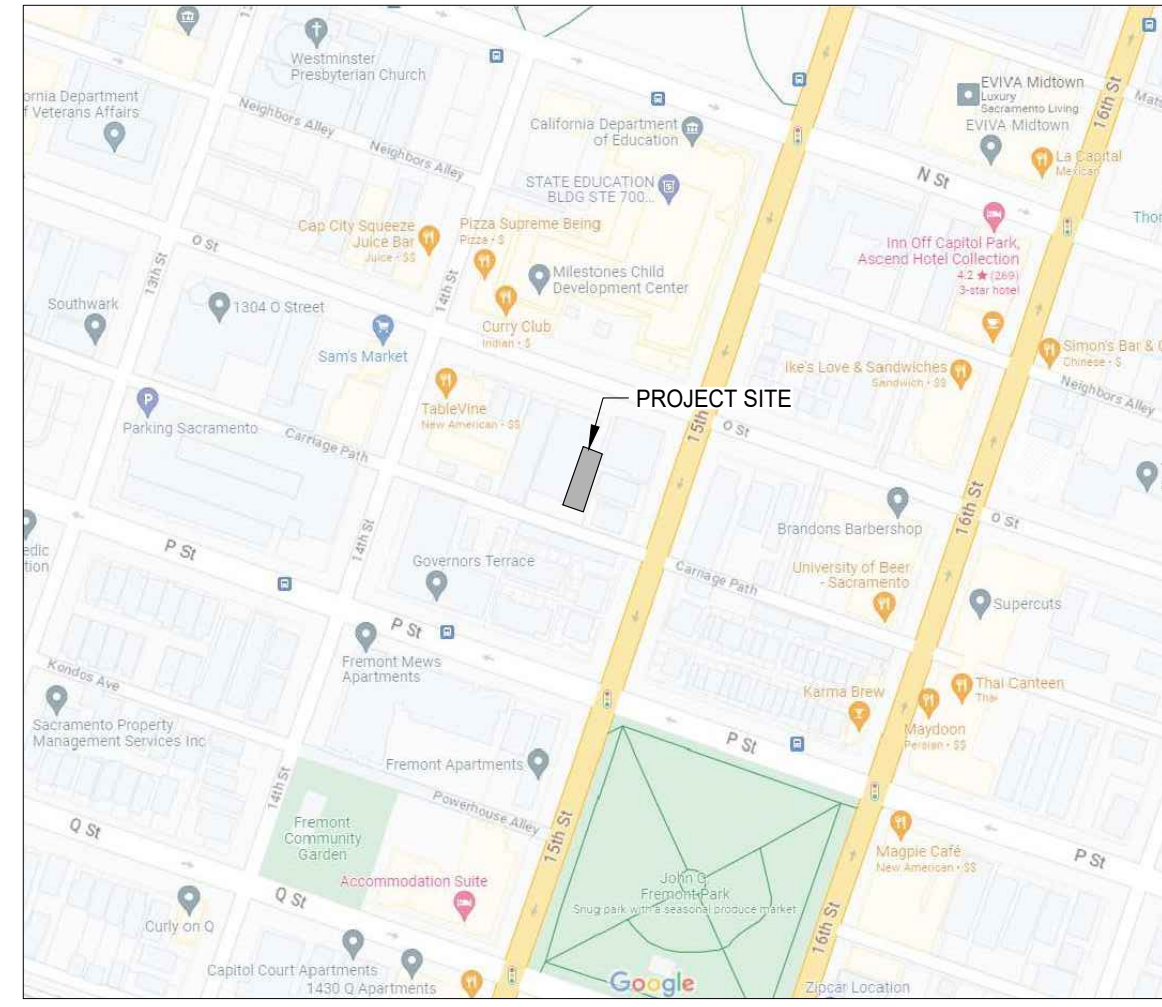
Construction contracts that will be executed to carryout work under the Capital Investment Program are bid and awarded in accordance with CADA’s Contract Policy and Outreach Procedures. If construction contract change orders are needed, CADA’s contract policy allows the Executive Director to approve them in the cumulative amount of \$25,000 or 20% of the base contract amount, whichever is greater.

Attachments:

- Attachment 1 - 1420 O Street Patio Landscape Drawing Set
- Attachment 2 - Job Walk Sign-in Sheet
- Attachment 3 - Bid Tabulation Form
- Attachment 4 - Resolution 24-16

VICINITY MAP

N.T.S.



CAPITOL AREA DEVELOPMENT AUTHORITY

1420 O STREET SACRAMENTO, CA

LANDSCAPE ARCHITECTURE 100% DESIGN DEVELOPMENT DOCUMENTS

ISSUED: JUNE 30, 2023

PROJECT DIRECTORY

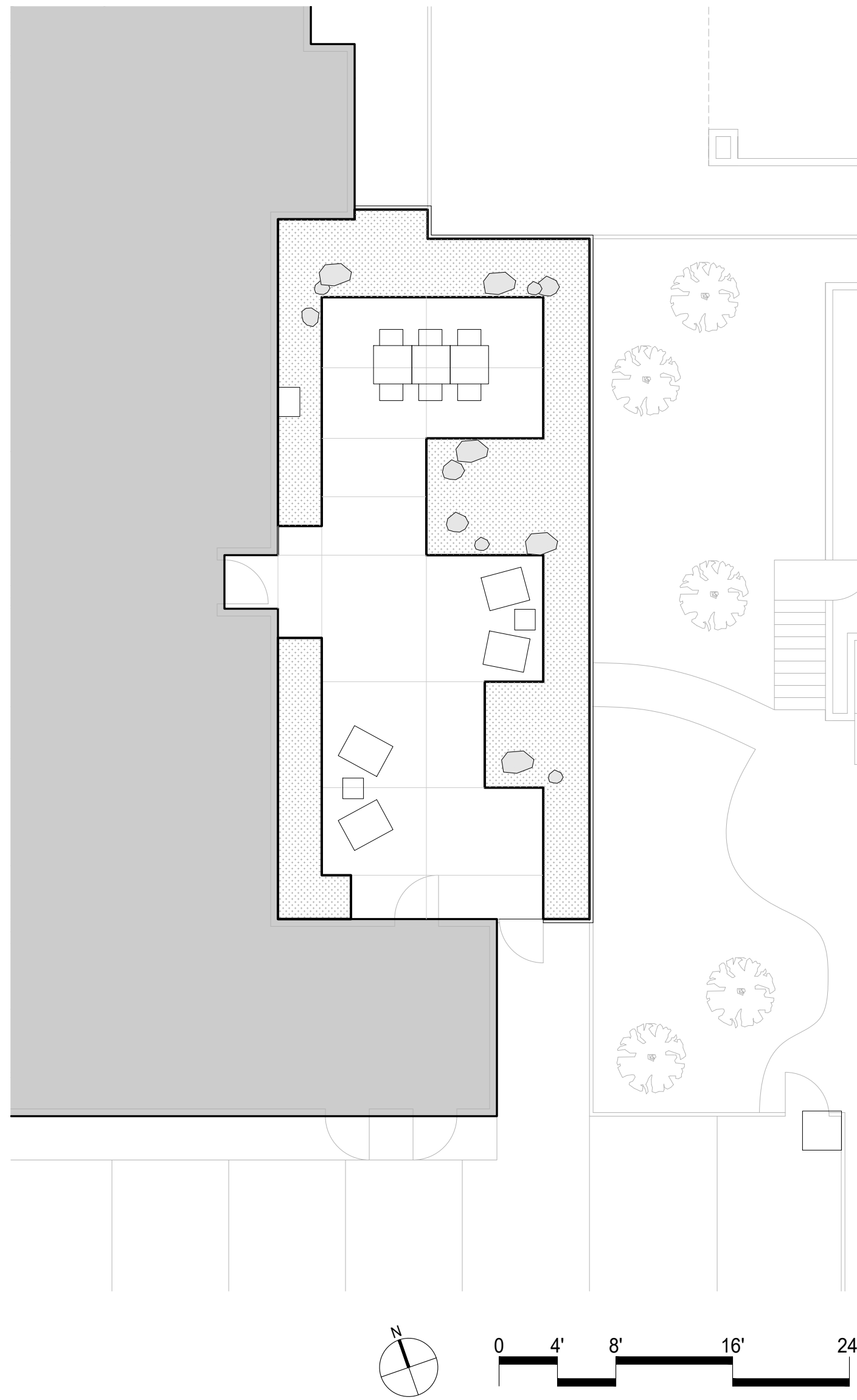
CLIENT / OWNER
CAPITAL AREA DEVELOPMENT AUTHORITY
1522 14TH STREET
SACRAMENTO, CA 95814
PH: (916) 322-2114
CONTACT: MARC DE LA VERGNE

LANDSCAPE ARCHITECT
MIRIDAE
1385 TERMINAL STREET
WEST SACRAMENTO, CA 95691
PH: (530) 723-6207
CONTACT: KATE HAYES

SHEET INDEX

SHEET NO.	DESCRIPTION
L-001	COVER SHEET
L-002	SURVEY
L-100	IRRIGATION PLAN
L-200	MATERIALS PLAN
L-300	LAYOUT PLAN
L-400	PLANTING PLAN + PLANTING SCHEDULE,
L-500	DETAILS

SITE PLAN

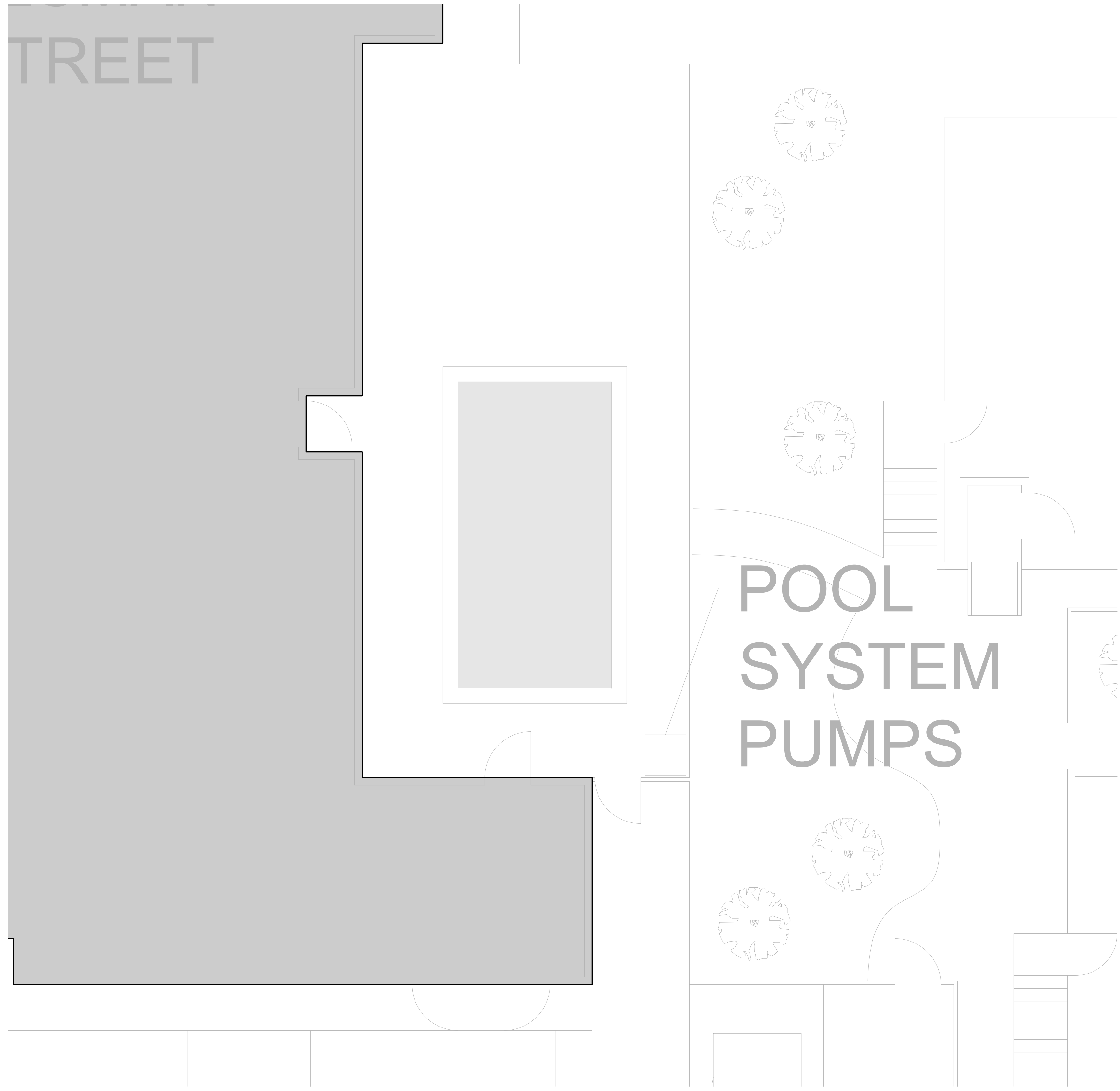


GENERAL NOTES

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFIRM TO THE CITY OF SACRAMENTO STANDARD SPECIFICATIONS, DATED JUNE 1989. THE CONTRACTOR SHALL OBTAIN AND USE ALL APPLICABLE ADDENDUMS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT AT 1-800-842-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- EXCAVATION WITHIN 7' OF BOTH SIDES OF TREE TRUNKS OF ALL EXISTING TREES SHALL BE LIMITED TO HAND EXCAVATION, WHERE ROOTS GREATER THAN 2" IN DIAMETER ARE ENCOUNTERED, THEY SHALL BE CUT BY HAND RESULTING IN SMOOTH CUTS AND NO RAGGED EDGES.
- WORK SHALL CONFORM TO THESE PLANS AND THE CURRENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE AND USE ALL MEANS NECESSARY TO ENSURE THE PHYSICAL WORK TO BE PERFORMED IS WITHIN CONSTRUCTION STANDARDS AND SAFETY REQUIREMENTS SET BY GENERAL SAFETY ORDERS OF TITLE 8, CALIFORNIA CODE OF REGULATIONS, AND SET BY CAL-OSHA REQUIREMENTS, LOCAL, STATE, AND NATIONAL BUILDING CODES LATEST EDITIONS.
- BIDDING CONTRACTORS ARE RESPONSIBLE FOR PROVIDING ANY OF THEIR PROPOSED MODIFICATIONS OF THE PLANS FOR THE CADA OWNER'S REPRESENTATIVE'S APPROVAL BEFORE THE WORK BEGINS/PROCEEDS.
- ALLOW AT LEAST THREE (3) WORKING DAYS FOR REVIEW OF SUBMITTALS, SHOP DRAWINGS OR DESIGN QUESTIONS AND CHANGES.
- ALL WORK SHALL BE PERFORMED BY A LICENSED LANDSCAPE CONTRACTOR.
- ANY EXISTING FACILITIES SHOWN ON THESE PLANS ARE INFORMATIONAL ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND STAKING ALL SEWER, UTILITY AND WATER MAIN LINES PRIOR TO THE START OF WORK. CONTACT USA ALERT AT 1-800-842-2444 TO AND ALL NECESSARY UTILITY AGENCIES TO IDENTIFY AND LOCATE UNDERGROUND UTILITIES. ALL AREAS TO BE EXCAVATED SHALL BE MARKED WITH WHITE PAINT PRIOR TO CONTACTING USA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING, SITE LAYOUT AND DIMENSIONS TO CONSTRUCT THE WORK AS DESCRIBED IN THESE PLANS.
- THE CONTRACTOR MUST FAMILIARIZE THEMSELV WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, FENCES, HARDSCAPE AND OTHER EXISTING STRUCTURES. ANY EXISTING ITEMS NOT SPECIFICALLY NOTED ON THE PLANS FOR REMOVAL SHALL BE PROTECTED IN PLACE.
- CONTRACTOR SHALL NOTIFY THE CADA OWNER'S REPRESENTATIVE IF ANY DISCREPANCIES ARE FOUND WITHIN THE SCOPE OF WORK, DRAWINGS OR SPECIFICATIONS, OR IF ANY ALTERNATES TO SCOPE, DRAWINGS OR SPECIFICATIONS ARE NECESSARY, BEFORE THE WORK BEGINS/PROCEEDS.
- THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARY EROSION CONTROL AT ALL TIMES. THE CONTRACTOR MUST TAKE NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY DAMAGE, WATER AND/OR SEDIMENT RUN-OFF. CONTRACTOR SHALL ASSURE THAT ANY DEBRIS GENERATED FROM THE WORK DESCRIBED IN THIS PLAN SET IS COLLECTED AND LEGALLY DISPOSED OF OFF THE SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL FINE GRADING AND POSITIVE SURFACE GRADING IN ALL LANDSCAPE AREAS. THE CONTRACTOR SHALL VERIFY ALL ROUGH GRADES IN THE FIELD AND BRING ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE PLANS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- THE CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE A MINIMUM OF ONE WEEK PRIOR TO THE START OF WORK. CONTRACTOR MUST COORDINATE THE PRE-CONSTRUCTION MEETING DATE WITH THE LANDSCAPE ARCHITECT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO THE MEETING DATE.
- A WORK SCHEDULE IS DUE PRIOR TO THE START OF THE PROJECT. ANY VARIATION TO THE WORK SCHEDULE MUST BE SUBMITTED TO THE CADA OWNER'S REPRESENTATIVE IN WRITING THE SAME DAY CONTRACTOR LEARNS OF SUCH A CHANGE.
- THE CONTRACTOR SHALL BE AVAILABLE TO MEET AND REVIEW PROGRESS WITH THE CADA OWNER'S REPRESENTATIVE ON A DAILY BASIS. THE SPECIFIC MEETING TIME IS TO BE ARRANGED BY THE CONTRACTOR AND THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN CONSISTENT PROJECT SUPERVISION ONSITE AT ALL TIMES DURING WORK. WORK SHALL NOT TAKE PLACE WITHOUT A CONTRACTOR-EMPLOYED REPRESENTATIVE, SUPERINTENDENT OR FOREMAN PRESENT AND ABLE TO COMMUNICATE, DISCUSS, RECEIVE AND EXECUTE INSTRUCTIONS FOR CADA'S OWNER'S REPRESENTATIVE.
- ALL WORK SHALL BE COMPLETED WITHIN 40 WORKING DAYS FROM THE DATE OF PROJECT TO START DATE.
- THE CADA OWNER'S REPRESENTATIVE IS TO BE NOTIFIED VIA EMAIL OR IN PERSON BY 10 AM OF THE SAME DAY WHEN NO WORK WILL BE COMPLETED AT THE CONSTRUCTION SITE THAT DAY.
- ANY EXISTING HARDSCAPE (CONCRETE, ASPHALT, ETC.) SHALL BE SAW CUT AND REMOVED IN A NEAT AND STRAIGHT LINE.
- COMPACTION OF BACKFILL BY METHOD OF "JETTING" SHALL NOT BE PERMITTED.
- ALL ENGINES USED FOR CONSTRUCTION SHALL USE NOISE SUPPRESSION DEVICES TO MINIMIZE NOISE TO THE SURROUNDING AREAS.
- DUST SHALL BE CONTROLLED AT ALL TIMES DURING CONSTRUCTION PERIOD BY APPLICATION OF WATER TO THE SITE, INCLUDING DAYS WHEN CONSTRUCTION ACTIVITY DOES NOT OCCUR.
- CONTRACTOR SHALL KEEP THE SITE CLEAN AND ORDERLY DURING AND AFTER WORKING HOURS. THE CONTRACTOR SHALL HOSE OFF THE SIDEWALK EACH EVENING BEFORE LEAVING THE JOB SITE.
- ALL ROADS USED BY CONSTRUCTION TRAFFIC SHALL BE KEPT CLEAN AND FREE OF DEBRIS. ANY ROADS THAT DO NOT MEET THESE REQUIREMENTS ARE SUBJECT TO FINES AS PER LOCAL CODES.
- ALL USA MARKINGS SHALL BE COMPLETELY REMOVED PRIOR TO FINAL ACCEPTANCE OF THE PROJECT.
- CONTRACTOR SHALL EXERCISE NECESSARY CAUTION TO PROTECT EXISTING LANDSCAPE AND OTHER ITEMS (I.E., LIGHTS, BENCHES, AND SHELTERS) FROM DAMAGE. ALL EXISTING ITEMS TO REMAIN THAT ARE DAMAGED BY THE WORK SHALL BE REPLACED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- ADJACENT BUILDINGS AND GROUNDS SHALL BE PROTECTED FROM DAMAGES. THE CONTRACTOR WILL REPAIR DAMAGES AT NO EXTRA COST TO CADA WITHIN A 24 HOUR PERIOD.
- HOURS OF CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE CITY OF SACRAMENTO NOISE ORDINANCE, WHICH CONTRACTOR IS RESPONSIBLE FOR REVIEWING BEFORE THE WORK BEGINS. NO WORK IS ALLOWED ON CONTRACTOR AND SUBCONTRACTOR ADHERENCE TO THE NOISE ORDINANCE WILL BE STRICTLY ENFORCED.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTOR/SUBCONTRACTOR VEHICLE PARKING, AND MAINTAINING PEDESTRIAN BARRIERS DURING CONSTRUCTION. CONTRACTOR PARKING IN OFF-STREET RESIDENTIAL PARKING SPACES IS NOT PERMITTED.
- ALL SURROUNDING APARTMENT UNITS, BUSINESSES AND THE CADA OFFICE WILL BE OCCUPIED DURING THE CONSTRUCTION. THE CONTRACTOR MUST MAINTAIN UNINTERRUPTED CUSTOMER AND EMPLOYEE ACCESS TO THE BUILDING ENTRANCES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN PROPER BARRIERS/SIGNAGE FOR PEDESTRIAN SAFETY.

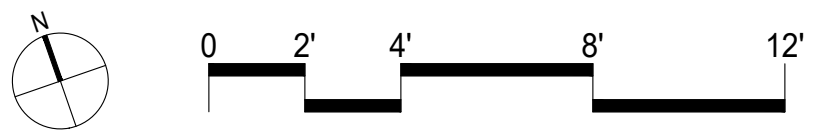
CAPITOL AREA DEVELOPMENT AUTHORITY
1420 O STREET, SACRAMENTO, CA 95814

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					06.30.23	
					AS SHOWN	
			1385 TERMINAL STREET WEST SACRAMENTO, CA 95691 T. 530 723 6207 admin@miridae.com		DRAWN BY: KH	DRAWING NO. L-001
					CHECKED BY: KH	



NOTES:

1. SURVEY WAS COMPLETED IN HOUSE AT CAPITAL AREA DEVELOPMENT AUTHORITY.
2. GRADING INFORMATION IS NOT AVAILABLE.
3. ALL LINEWORK SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION.



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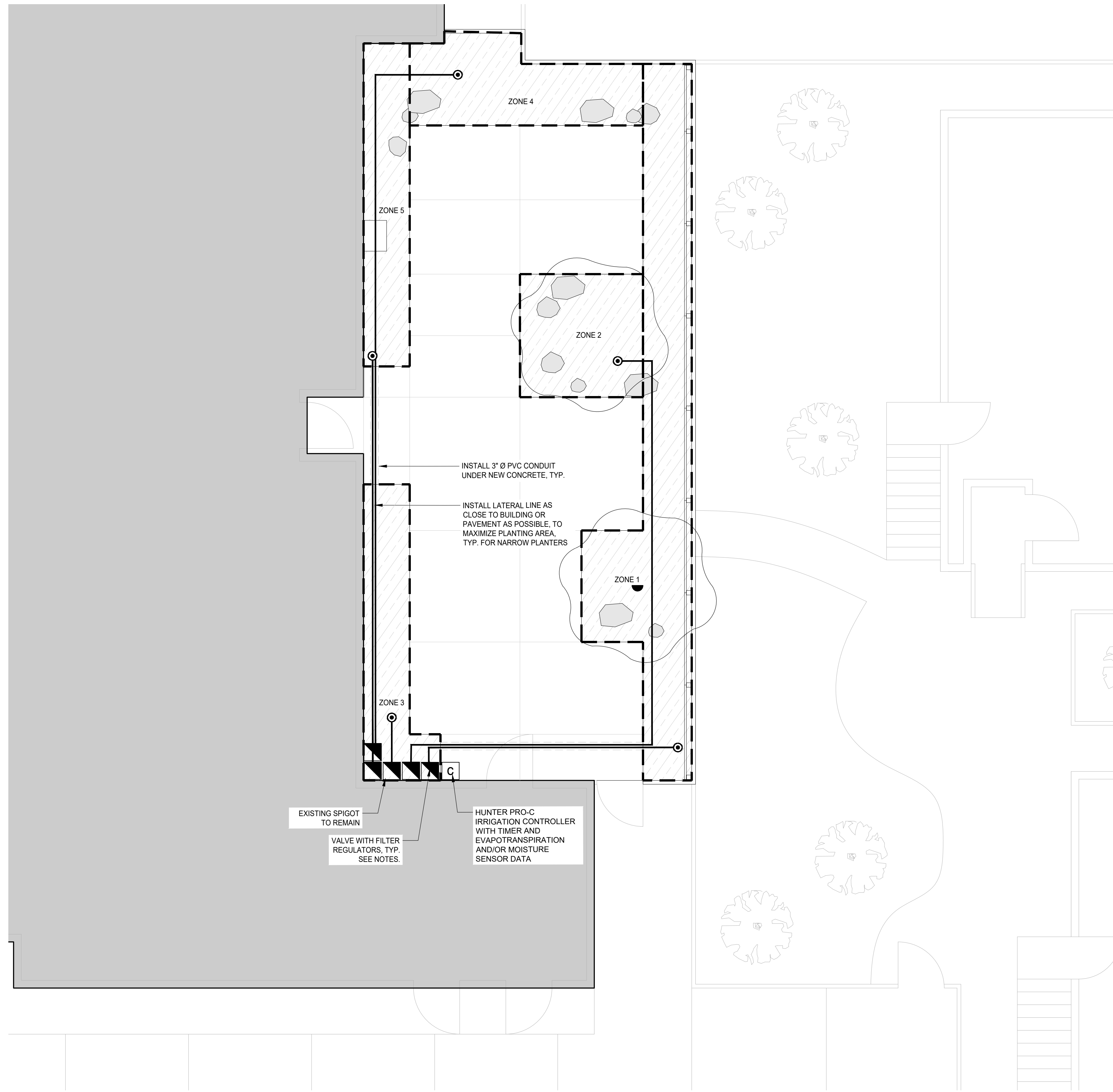
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LANDSCAPE DESIGN: **MIRIDAE**
 SEAL:
 1385 TERMINAL STREET
 WEST SACRAMENTO, CA 95691
 T. 530 723 6207
 admin@miridae.com

PROJECT NO. **0008**
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 SCALE: **1/4" = 1'-0"**
 DRAWN BY: **KH**
 CHECKED BY: **KH**

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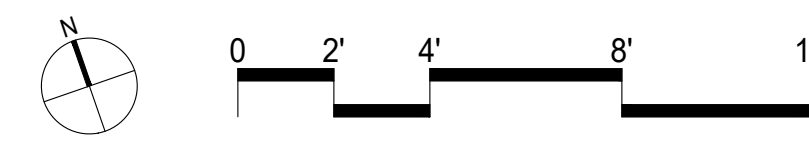
L-002



- LEGEND**
- CONTROLLER
 - AUTOMATIC VALVE ASSEMBLY FOR DRIP IRRIGATION
 - AREA TO RECEIVE DRIP IRRIGATION
 - IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
 - PIPE SLEEVE: 3" Ø PVC
 - PIPE TRANSITION POINT ABOVE GRADE, FROM PVC LATERAL TO DRIP TUBING WITH RISER TO ABOVE GRADE INSTALLATION

IRRIGATION NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
3. PRIOR TO CUTTING INTO SOIL, LOCATE ALL CABLES, CONDUITS, SEWERS, AND OTHER UTILITIES OR ARCHITECTURAL FEATURES THAT ARE COMMONLY ENCOUNTERED UNDERGROUND AND TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. ANY DAMAGE MADE DURING THE INSTALLATION OF THE IRRIGATION SYSTEM OF THE AFOREMENTIONED ITEMS SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S OWN EXPENSE.
4. THE IRRIGATION PLAN IS DIAGRAMMATIC. ALL PIPING, VALVES, SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS. VALVES SHALL BE INSTALLED IN SHRUB/GROUND COVER AREAS ONLY. AVOID CONFLICTS WITH UTILITIES, NEW PLANTING, NEW SITE OR ARCHITECTURAL ELEMENTS. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN THE FIELD BY THE CONTRACTOR.
5. COORDINATE IRRIGATION WORK WITH PLANTING WORK.
6. ANY EXISTING IRRIGATION THAT IS DAMAGED OR DESTROYED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
7. CUTTING INTO THE SOIL FOR INSTALLATION OF ANY IRRIGATION PIPES, LINES, AND SLEEVES AND ANY OTHER EQUIPMENT SHALL BE PERFORMED USING HAND-DIGGING, HYDRO-EXCAVATION, OR PNEUMATIC EXCAVATION. THERE SHALL BE NO TRENCHING WITHIN THE DRIPLINE OF CITY TREES. DO NOT CUT ANY ROOTS LARGER THAN 2" DIAMETER UNLESS DIRECTED BY THE PROJECT ARBORIST.
8. LANDSCAPE CONTRACTOR TO CONFIRM STATIC PRESSURE AT EXISTING VALVE PRIOR TO BEGINNING CONSTRUCTION. SUBMIT A WRITTEN REPORT OF THE ACTUAL STATIC PRESSURE TO LANDSCAPE ARCHITECT FOR REVIEW. DESIGN IS BASED ON A MINIMUM OF 40 PSI AT INLET OF EXISTING VALVES AND A MAXIMUM FLOW OF 22 GPM.
9. THE FULLY AUTOMATIC IRRIGATION SYSTEM INCLUDES:
 - 9.1. A HUNTER PRO-C IRRIGATION CONTROLLER WHICH INCLUDES A TIMER AND USES EVAPOTRANSPIRATION AND/OR MOISTURE SENSOR DATA
 - 9.2. (5) 1/2" SOLENOID IRRIGATION VALVES
 - 9.3. A BALL VALVE BETWEEN MAIN AND VALVES
 - 9.4. A CHECK VALVE OR ANTI-DRAIN VALVE
 - 9.5. NETAFIM INLINE DRIP TUBING AT 1/2" DIAMETER AND 0.46 GPH AND 12" BETWEEN EMITTERS
10. THE NETAFIM INLINE DRIP TUBING SHALL BE INSTALLED IN A 18" GRID BETWEEN LINES
11. POWER SHALL BE PROVIDED FOR THE IRRIGATION CONTROLLER. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR PROVIDING POWER TO THE SITE.
12. A FLOW SENSOR THAT DETECTS HIGH FLOW CONDITIONS SHALL BE INCLUDED.
13. A MASTER SHUT-OFF VALVE AND A BACKFLOW PREVENTION DEVICE ARE REQUIRED. LOCATION OF EXISTING BACKFLOW PREVENTER IS NOTED ON THE PLANS.



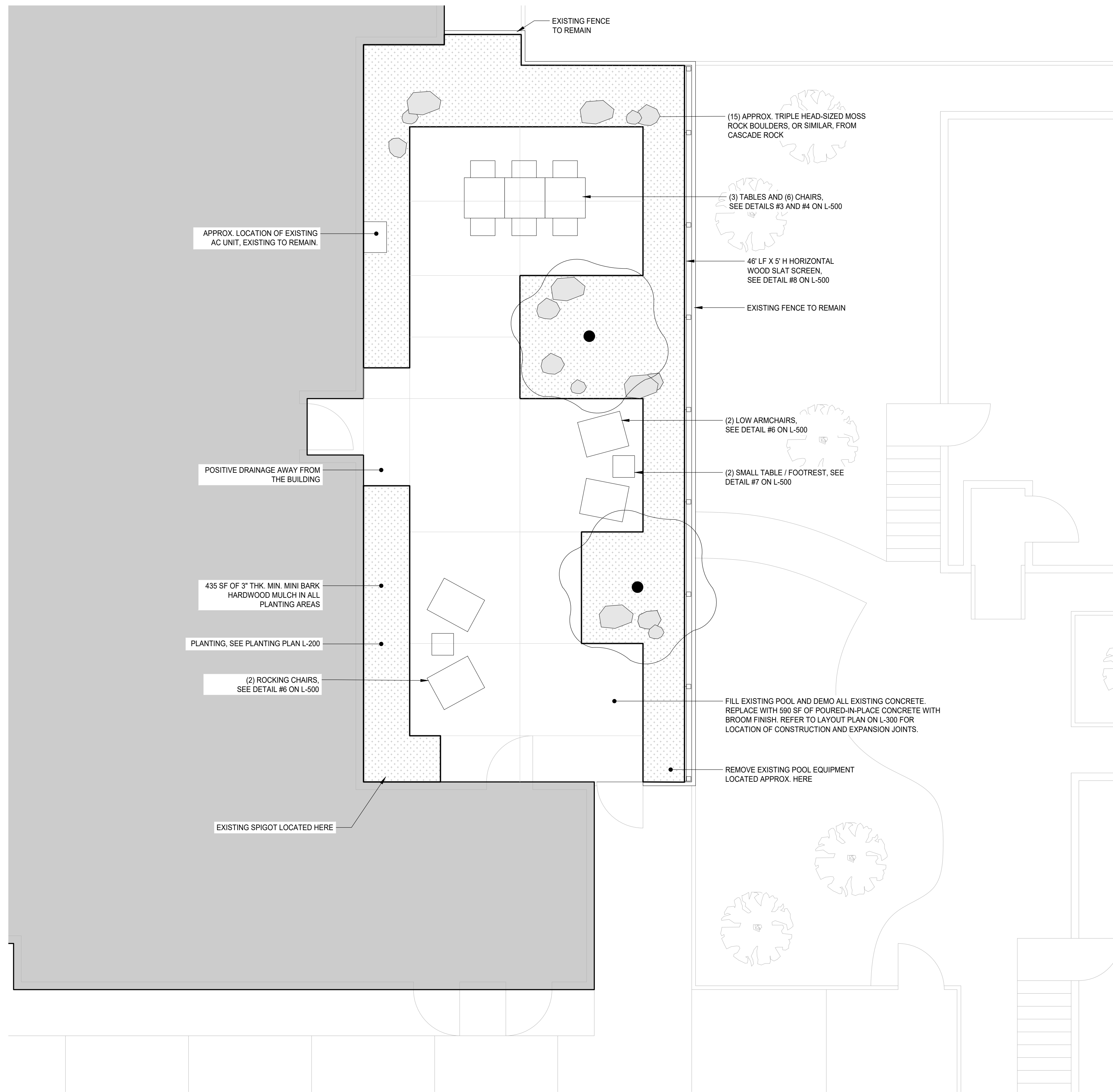
CAPITOL AREA DEVELOPMENT AUTHORITY
1420 O STREET, SACRAMENTO, CA 95814

NO.	ISSUE/DESCRIPTION:	DATE:



LANDSCAPE DESIGN: **MIRIDAE**
 SEAL:
 1385 TERMINAL STREET
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 T. 530 723 6207
 admin@miridae.com

PROJECT NO. **0008**
 DATE: **06.30.23**
 SCALE: **1/4" = 1'-0"**
 DRAWN BY: **KH**
 CHECKED BY: **KH**

DRAWING TITLE: **IRRIGATION PLAN**
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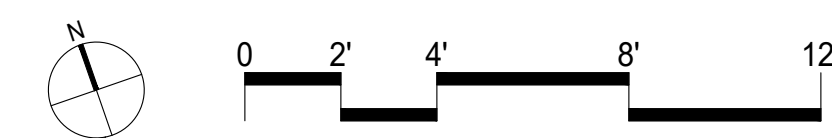


LEGEND

-  PLANTING AREA
-  BOULDER

NOTES:

1. SEE L-100 FOR IRRIGATION PLAN.
2. SEE L-400 FOR PLANTING PLAN.
3. IMPORTED SOIL SHALL BE A 50:50 COMPOST:SOIL MIX.
4. AMEND THE EXISTING SOIL WITH 50:50 COMPOST:SOIL MIX. ROTOTILL 6" INTO THE EXISTING SOIL.
5. MATERIALS SHALL BE SOURCED LOCALLY, WHEN POSSIBLE.
6. NEW PAVEMENT SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS.
7. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.



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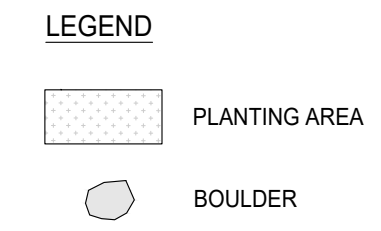
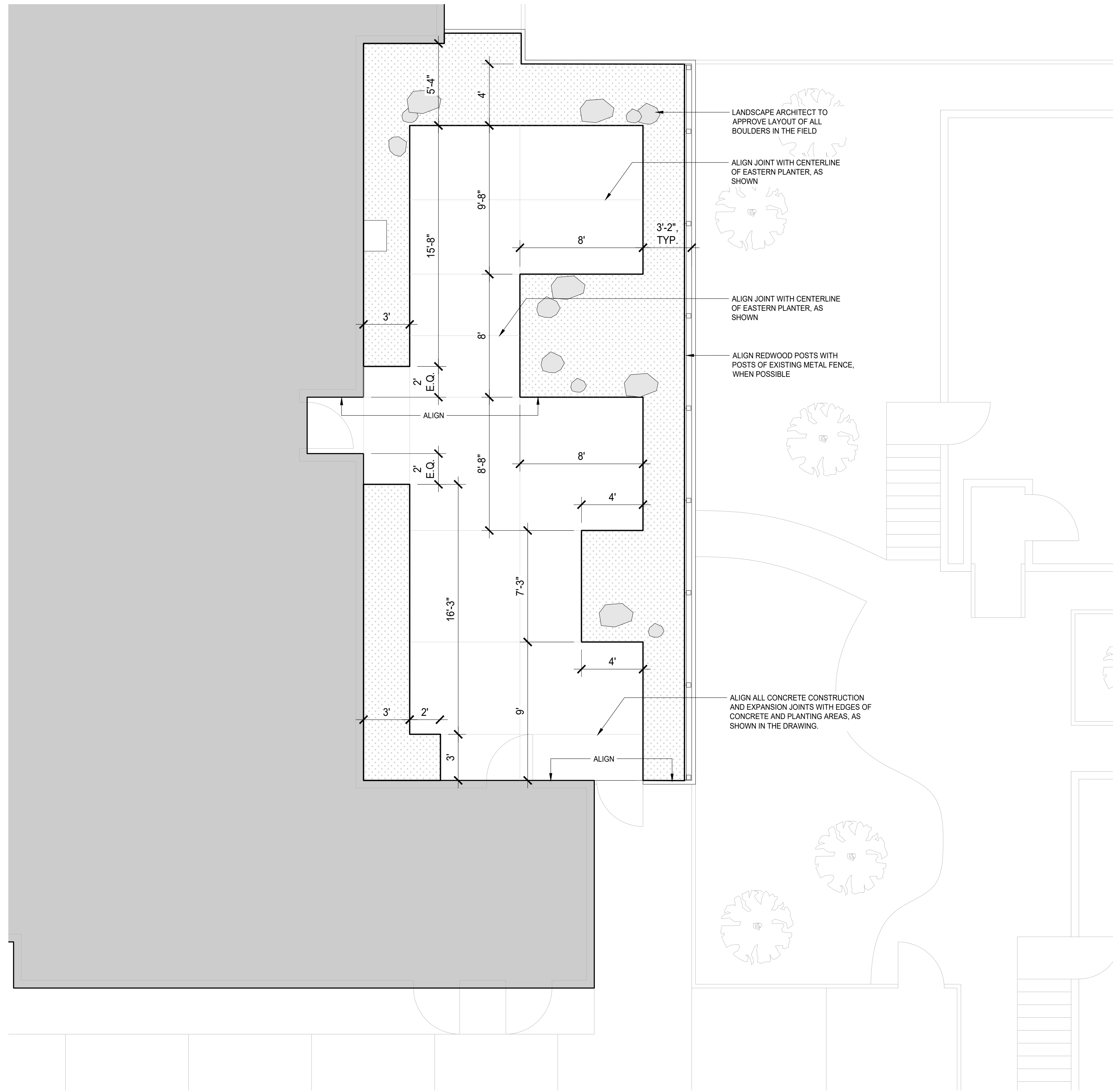
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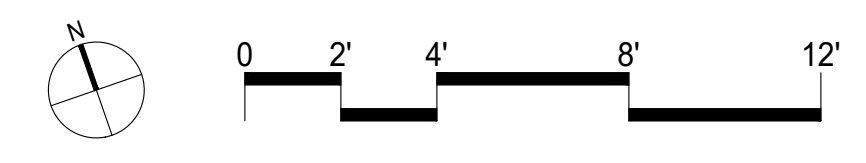
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 DRAWN BY: **KH**
 CHECKED BY: **KH**

DRAWING TITLE: **MATERIALS PLAN**

DRAWING NO. **L-200**



- NOTES:**
1. CONCRETE AND EXPANSION / CONSTRUCTION JOINT LAYOUT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING THE CONCRETE.
 2. THE LOCATIONS OF ALL BOULDERS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 3. NO CHANGES SHALL BE MADE TO THE DESIGN OR LAYOUT WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LAYOUT THE WORK AS DIMENSIONED IN THE PLANS. WRITTEN DIMENSIONS SHALL GOVERN.



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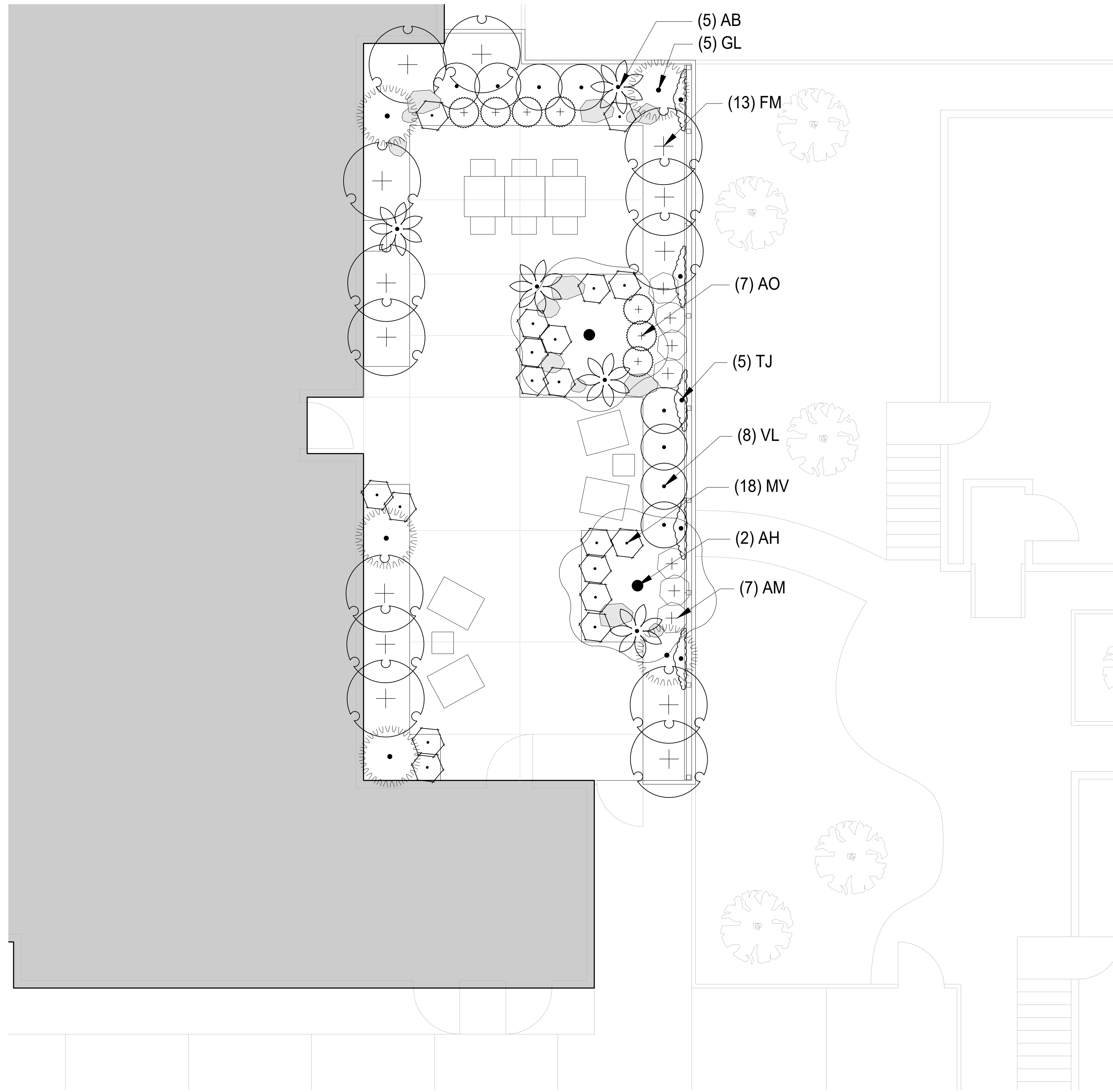
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DRAWING TITLE: **LAYOUT PLAN**

DRAWING NO. **L-300**

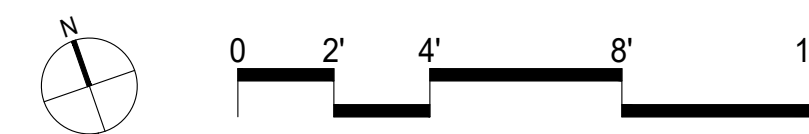


PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AH	2	Arctostaphylos manzanita 'Dr. Hurd' / Dr. Hurd Common Manzanita	24" Box	Box
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	FM	13	Frangula californica 'Mound San Bruno' / Mound San Bruno Coffeeberry	5 gal.	Pot
	VL	8	Verbena lilacina 'De la Mina' / De la Mina Lilac Verbena	5 gal.	Pot
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AM	7	Achillea millefolium / Common Yarrow	1 gal.	Pot
	AO	7	Achillea x 'Moonshine' / Moonshine Yarrow	1 gal.	Pot
	GL	5	Gaura lindheimeri 'Whirling Butterflies' / Whirling Butterflies Gaura	1 gal.	Pot
	MV	18	Monardella villosa / Coyote Mint	1 gal.	Pot
SUCCULENTS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	AB	5	Agave x 'Blue Flame' / Blue Flame Agave	1 gal.	Pot
VINE/ESPALIER	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	TJ	5	Trachelospermum jasminoides / Chinese Star Jasmine	3 gal.	Pot

PLANTING NOTES:

- SEE L-100 FOR IRRIGATION PLAN
- THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE ROOT SYSTEMS OF EXISTING TREES.
- PLANT GROUPINGS AND LOCATIONS ARE DIAGRAMMATIC. THE LOCATION OF PLANTS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE PLANTED AT THE TIME OF DELIVERY DUE TO LIMITED STORAGE ON SITE. PLANTS IN THE SAME PLANTING BED SHALL BE PLANTED AT THE SAME TIME. ANY PLANTS REMAINING UNPLANTED ON THE SITE FOR MORE THAN 24 HOURS SHALL BE PROTECTED AND MAINTAINED, INCLUDING BUT NOT LIMITED TO WATER AND SHADE. ANY DAMAGED PLANTS SHALL BE REPLACED AS DIRECTED, AT THE CONTRACTOR'S EXPENSE.
- THERE WILL BE NO SUBSTITUTIONS OF PLANT MATERIAL WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL IMPLEMENT THE PLANTING PLAN AS SHOWN. PLANTS SHALL BE LOCATED AS CLOSE AS POSSIBLE TO LAYOUT PROVIDED OR AS DIRECTED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
- PLANTING BEDS SHALL RECEIVE A MIN. 3" THICK LAYER OF SHREDDED HARDWOOD MULCH, AS INDICATED ON THE PLANTING DETAILS.
- PRIOR TO COMMENCING PLANTING, THE CONTRACTOR SHALL STAKE OUT THE EXACT LOCATION OF THE ALL TREES FOR THE LANDSCAPE ARCHITECT'S APPROVAL. ALL PLANTING OPERATIONS AND LAYOUT SHALL PROCEED UNDER CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT. TREE LOCATIONS MAY VARY AS DIRECTED BY THE LANDSCAPE ARCHITECT IN THE FIELD. THE ACTUAL LOCATION OF PLANT MATERIALS MAY VARY DUE TO FIELD CONDITIONS. FINAL PLACEMENT OF PLANT MATERIAL SHALL BE APPROVED BEFORE PITS ARE DUG. IF INITIAL PLACEMENT IS NOT SATISFACTORY, PLANTS SHALL BE RELOCATED IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE ARCHITECT, AT NO ADDITIONAL COST TO THE OWNER.
- PLANT MATERIAL WHICH HAS BECOME DAMAGED OR DISEASED OR WHICH IS UNACCEPTABLE TO THE LANDSCAPE ARCHITECT MAY BE REJECTED UPON DELIVERY TO THE SITE.
- SHOULD THERE BE ANY DISCREPANCIES BETWEEN THE QUANTITIES CALLED FOR ON THE PLANT LIST AND THOSE INDICATED ON THE PLAN, THE GREATER QUANTITY SHALL GOVERN.
- AT ALL TIMES, THE SITE SHALL BE KEPT NEAT AND FREE OF DEBRIS LEFT FROM THE PLANTING OPERATION.
- ALL PLANT MATERIAL TO BE VIGOROUS AND FREE OF INJURY OR DEFECTS. ALL PLANT MATERIAL TO BE TRUE REPRESENTATIVES OF THEIR SPECIES.
- ALL PLANT TAGS MUST REMAIN ON THE PLANT MATERIAL UNTIL THE LANDSCAPE ARCHITECT REVIEWS THE LAYOUT AND APPROVES QUANTITIES.



CAPITOL AREA DEVELOPMENT AUTHORITY
1420 O STREET, SACRAMENTO, CA 95814

NO.	ISSUE/DESCRIPTION:	DATE:

LANDSCAPE DESIGN: **MIRIDAE**
SEAL:
1385 TERMINAL STREET
WEST SACRAMENTO, CA 95691
T. 530 723 6207
admin@miridae.com

PROJECT NO. **0008**
DATE: **06.30.23**
SCALE: **1/4" = 1'-0"**
DRAWN BY: **KH**
CHECKED BY: **KH**

DRAWING TITLE
**PLANTING PLAN +
PLANT SCHEDULE**

DRAWING NO. **L-400**



FERMOB LUXEMBOURG SMALL LOW TABLE / FOOTREST
 COLOR: HONEY
 DIMENSIONS: 42 CM WIDE X 44 CM LENGTH X 40 CM HIGH

7 SMALL TABLE / FOOTREST
 SCALE: NTS



FERMOB LUXEMBOURG CHAIR
 COLORS: ACAPULCO BLUE
 DIMENSIONS: 52 CM WIDE X 57 CM LENGTH X 88 CM HIGH

4 DINING CHAIR
 SCALE: NTS



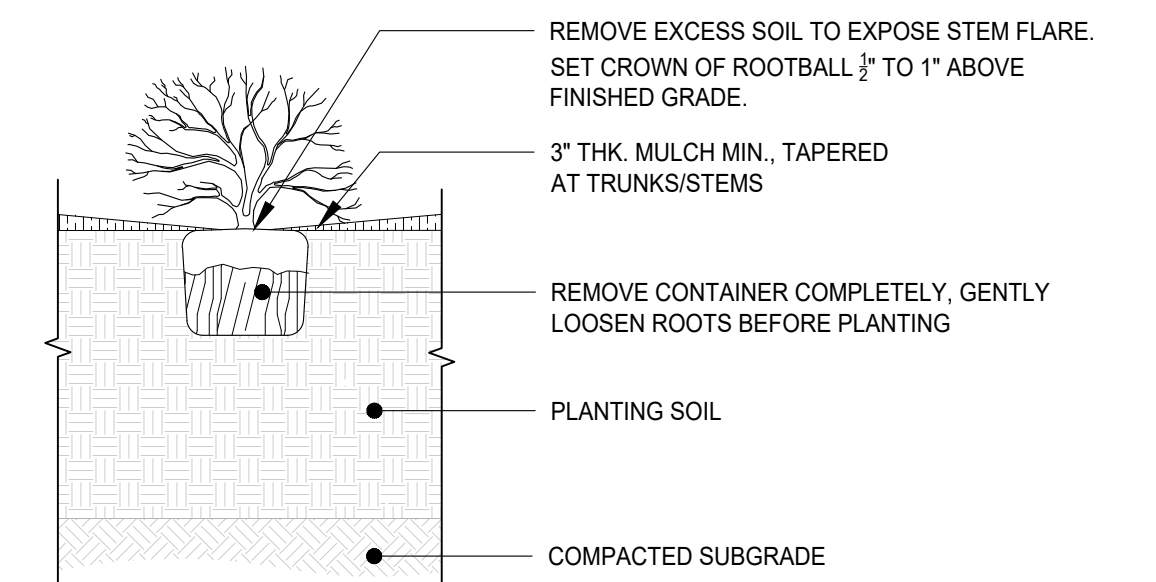
FERMOB LUXEMBOURG LOW ARMCHAIR
 COLOR: HONEY
 DIMENSIONS: 71 CM WIDE X 87 CM LENGTH X 72 CM HIGH

6 LOW ARMCHAIR
 SCALE: NTS

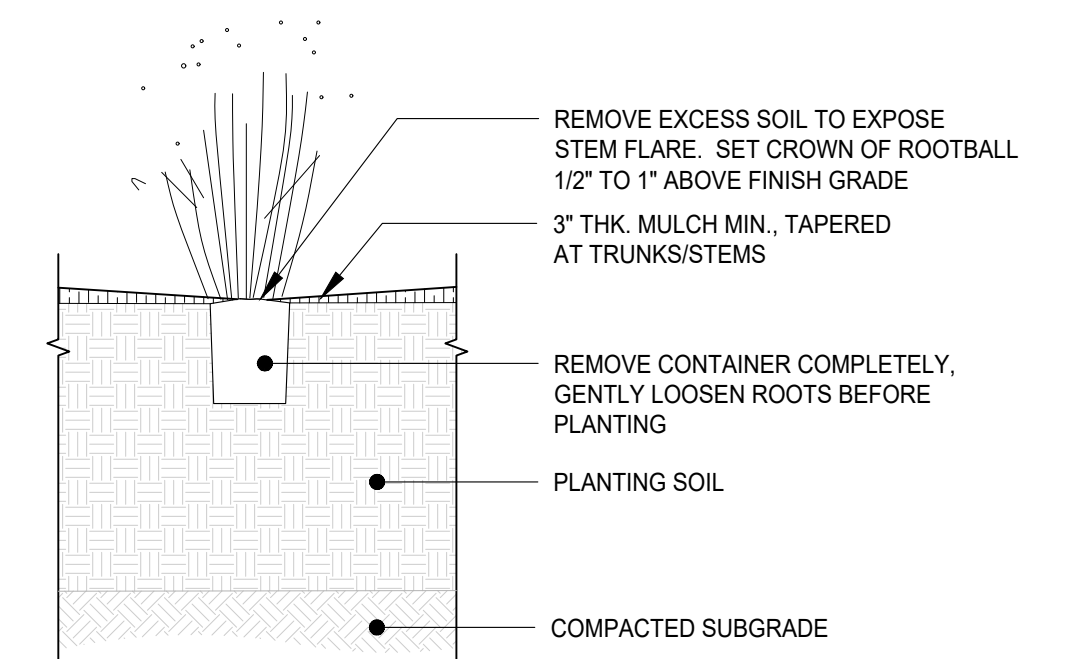


FERMOB LUXEMBOURG FOUR LEG TABLE WITH SHADOO PARASOL
 TABLE COLOR: ACAPULCO BLUE
 PARASOL COLOR: CACTUS
 TABLE DIMENSIONS: 80 CM WIDE X 80 CM LENGTH X 74 CM HIGH

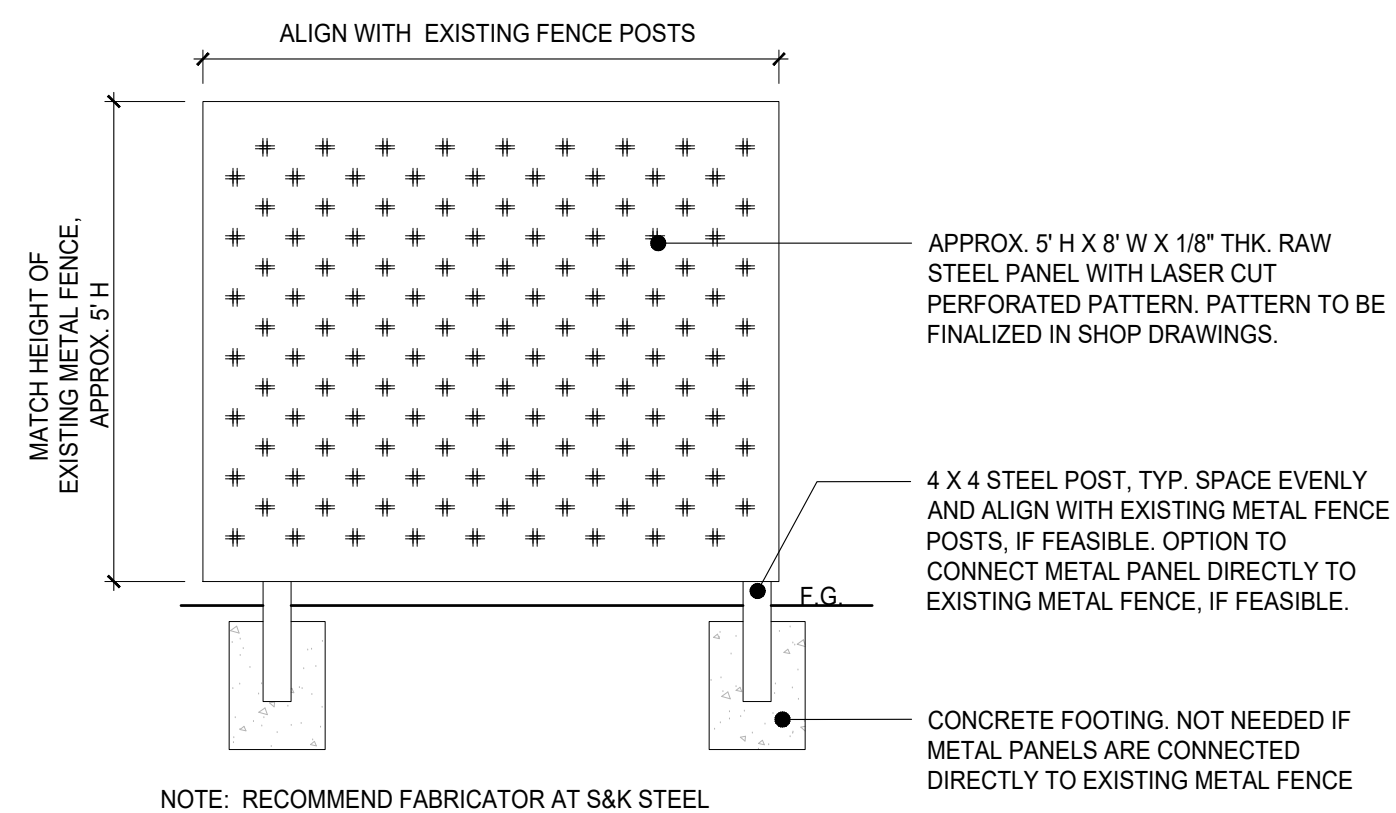
3 DINING TABLE
 SCALE: NTS



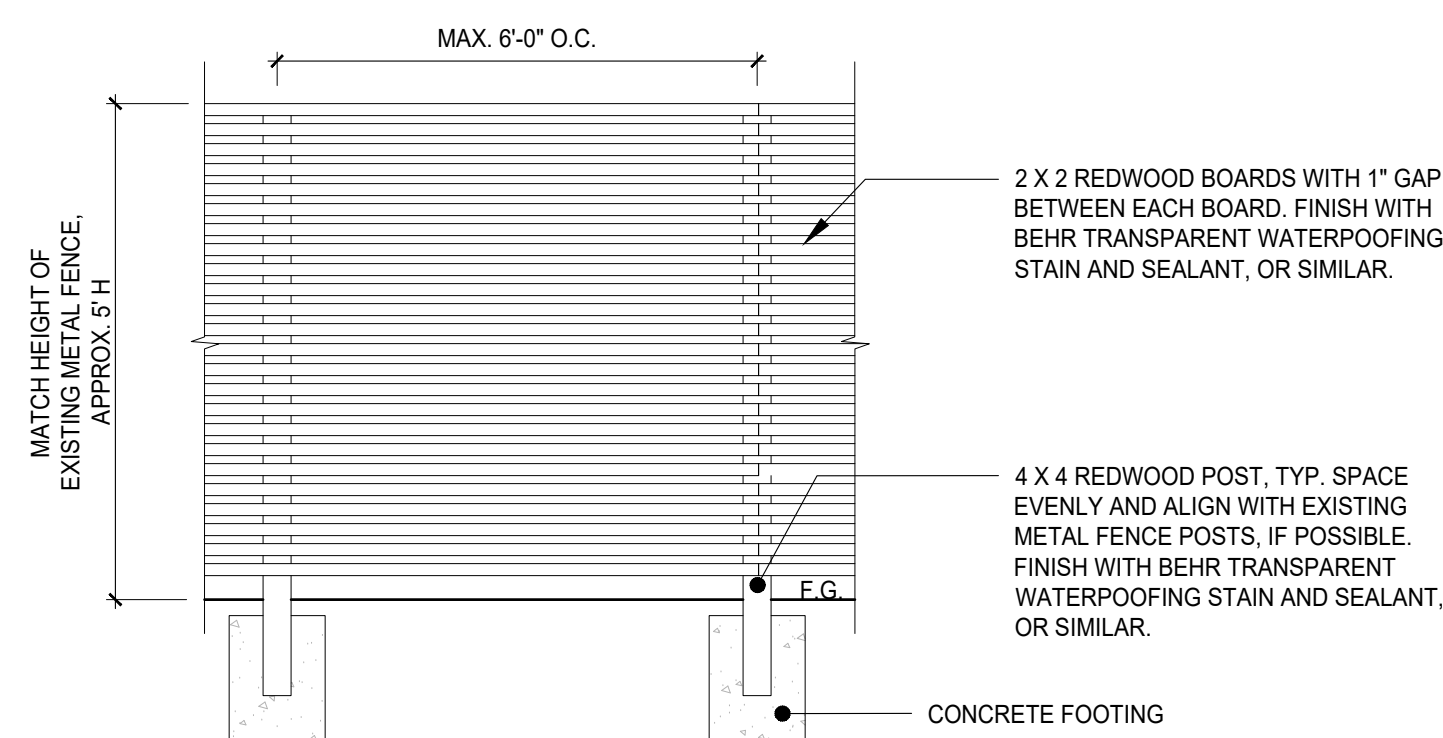
2 SMALL TREE AND SHRUB PLANT DETAIL
 SCALE: 1/2" = 1'-0"



1 GRASS AND PERENNIAL PLANT DETAIL
 SCALE: 1/2" = 1'-0"



ELEVATION
 OPTION B: CUSTOM RAW STEEL SCREEN



ELEVATION
 OPTION A: CUSTOM REDWOOD SCREEN

8 HORIZONTAL WOOD SLAT SCREEN
 SCALE: 1/2" = 1'-0"

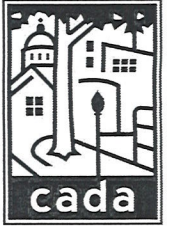


FERMOB LUXEMBOURG ROCKING CHAIR
 COLOR: HONEY
 DIMENSIONS: 71 CM WIDE X 92 CM LENGTH X 104 CM HIGH

5 ROCKING CHAIR
 SCALE: NTS

NO.	ISSUE/DESCRIPTION	DATE	LANDSCAPE DESIGN:	SEAL:
			MIRIDAE	
			1385 TERMINAL STREET WEST SACRAMENTO, CA 95691 T. 530 723 6207 admin@miridae.com	

PROJECT NO.	DRAWING TITLE
0008	DETAILS
DATE: 06.30.23	
SCALE: AS SHOWN	
DRAWN BY: KH	DRAWING NO.
CHECKED BY: KH	



CAPITOL AREA DEVELOPMENT AUTHORITY — Bids Received

Project: Pool Removal and Patio Landscaping Project – 1420 O Street, Sacramento

Job Walk: Tuesday, February 27, 2024 @ 10:00 a.m. @ 1420 O Street, Sacramento

Bid Opening: Thursday, March 7, 2024 @ 2:00 p.m. @ 1522 14th Street, Sacramento

	Name of Company	Bid
1.	Pro Builders	\$128,000
2.		
3.		
4.		
5.		
6.		
7.		
8.		
9.		
10.		

Verified: 3/7/2024
Date

Sara Kennedy
Signature

[Signature]
Signature

Job Walk Sign-In

Attachment 3

1420 O St
Courtyard + Pool
Landscape Project

2/27/24

<u>CO NAME</u>	<u>REP</u>	<u>Phone #</u>	<u>Email address</u>
PRO BUILDERS	ALEX MURTHA	(916) 225-0373	SEBASTIAN@SHCPROBUILDERS.COM
CVE Demo	Chuck Johnson	209-871-6247	chuckj@cvecorp.com

RESOLUTION NO. 24 – 16

Adopted by the Capitol Area Development Authority

March 22, 2024

**RESOLUTION AUTHORIZING THE EXECUTIVE DIRECTOR TO
ENTER INTO A CONSTRUCTION CONTRACT FOR THE POOL REMOVAL
AND PATIO LANDSCAPING PROJECT AT 1420 O STREET**

WHEREAS, CADA conducted a formal bid process for the Pool Removal and Patio Landscaping Project at 1420 O Street;

WHEREAS, Pro Builders is the only bidder and was found to be responsive and responsible with a bid of \$128,000 and has advised CADA of its interest in being awarded the contract and completing the work;

WHEREAS, Pro Builders included the purchase of furniture in the bid, which CADA intends to purchase separately;

WHEREAS, Pro Builders agreed to remove the purchase of furniture and reduce their bid by \$19,200;

WHEREAS, a 2/3 vote is required for this resolution, which finds that it is in CADA's best interest to suspend competitive bidding for the reasons set out in the staff report; and

NOW, THEREFORE, BE IT RESOLVED, by the Capitol Area Development Authority Board of Directors that the Executive Director is hereby authorized, on behalf of the Authority, to enter into a contract with Pro Builders in the amount of \$108,800.

Ann Bailey, Chair

ATTEST:

Tara Gandara
Secretary to the Board of Directors